

BROCAS BURGHFIELD COMMON

DEMOLISHMENT OF AN EXISTING GARAGE FOR THE PROPOSED TWO STORY REAR & SINGLE STORY SIDE EXTENSION WITH INTERNAL ALTERATIONS TO THE HOST DWELLING.

DRAWN BY: HAYDEN A. COOPER

HAC DESIGNS Ltd

info@hac-designs.co.uk 0118 373 4003

HAC GROUP

Transforming old spaces into beautiful new places



HAC DESIGNS LTD IS A PART OF HAC GROUP, REGISTERED NUMBER: 11910740. TRADE ADDRESS: WYVOLS COURT, BASINGSTOKE ROAD, SWALLOWFIELD, BERKSHIRE, ENGLAND, RG7 1WY. REGISTERED ADDRESS: 329 DONCASTLE ROAD, BRACKNELL, HAMPSHIRE, ENGLAND, RG12 8PE. ANY UNSPECIFIED USAGE OR REPRODUCTION OF 'HAC DESIGNS LTD' DRAWINGS ARE SUBJECT TO INTELLECTUAL PROPERTY AND COPYRIGHT LAWS AND MUST BE APPROVED BY PRIOR WRITTEN CONSENT.



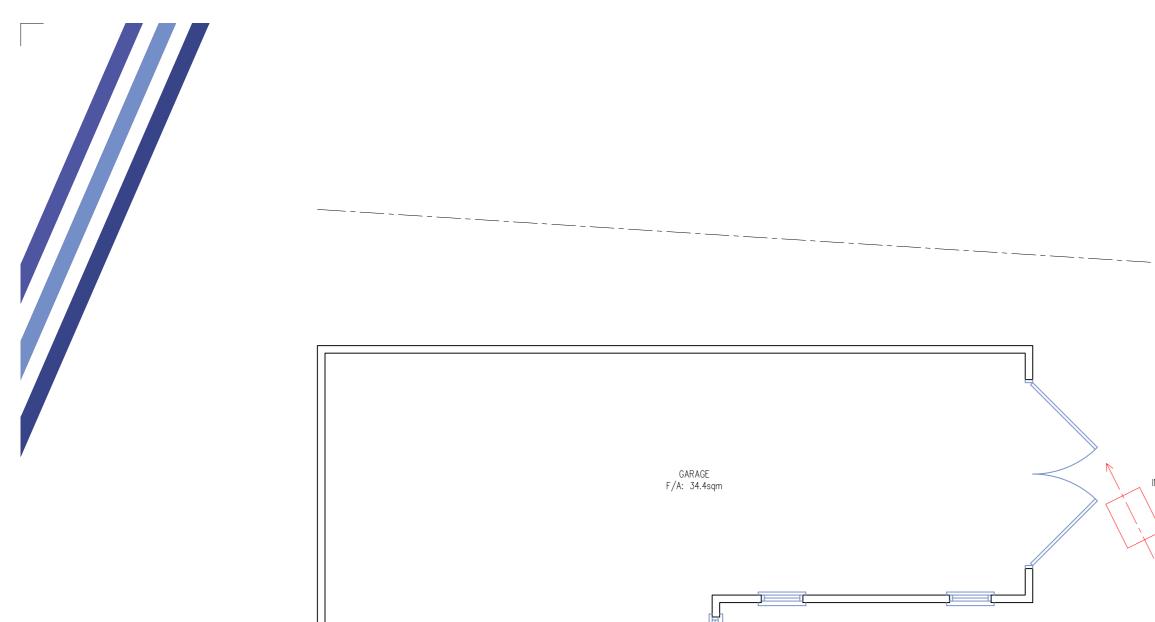
PAGE	DRAWING REF.	DRAWING REF. DRAWING TITLE		
No. 1	/	COVER PAGE	N /	
2	/	CONTENT & REVISION LOG		
3	20036.P.BC-01	EXISTING GROUND FLOOR PLAN		
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9	20036.P.BC-07	PROPOSED ELEVATIONS	1	
10	20036.P.BC-08	PROPOSED ROOF PLAN	1	
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12	20036.P.BC-10	PROPOSED FOUNDATION & DRAINAGE PLAN	1	
13	20036.P.BC-11	PROPOSED GROUND FLOOR PLAN (ARCH)	1	
14	20036.P.BC-12	PROPOSED GROUND FLOOR PLAN (STRUC)	1	
15	20036.P.BC-13	PROPOSED GROUND FLOOR PLAN (M&E)	1	
16	20036.P.BC-14	PROPOSED FIRST FLOOR PLAN (ARCH)	1	
17	20036.P.BC-15	PROPOSED FIRST FLOOR PLAN (STRUC)	1	
18	20036.P.BC-16	PROPOSED FIRST FLOOR PLAN (M&E)	1	
19	20036.P.BC-17	PROPOSED ROOF PLAN (STRUC)	1	
20	20036.P.BC-18	SECTION A - A	1	
21	20036.P.BC-19	SECTION B - B	1	
22	20036.P.BC-20	SECTION C - C	/	
23	20036.P.BC-21	SECTION D - D	/	
24	20036.P.BC-22	TYPICAL FOUNDATION DETAILS	1	
25	20036.P.BC-23	TYPICAL BLOCK AND BEAM DETAILS + BRIDGING CAVITY WALL OVER AN F.W. DRAIN	1	
26	20036.P.BC-24	TYPICAL EXTERNAL WASTE SYSTEMS + TYPICAL TIMBER CONSTRUCTION AND CONNECTIONS	/	
27	20036.P.BC-25	TYPICAL WINDOW / DOOR SECTIONS	/	
28	20036.P.BC-26	TYPICAL STRAPPED WALL PLATE DETAIL + TYPICAL ROOF / FASCIA CONSTRUCTION	/	
29	20036.P.BC-27	CONSTRUCTION TIMELINE	1	
30	20036.P.BC-28	SCHEDULES & QUANTITY OF MATERIALS		
31	/	BACK COVER	1	

DRAWING R /

REF.	DESCRIPTION OF REVISION MADE	DATE ISSUED
	ALL DRAWINGS ISSUED TO CLIENT / CONTRACT	18.04.2020

2

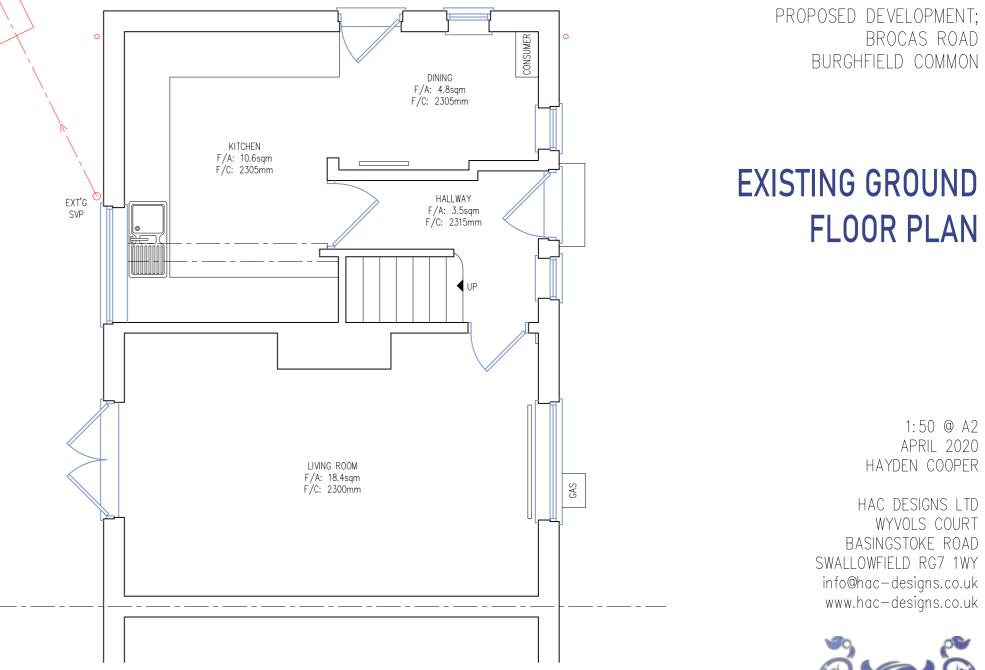




1. CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS. 2. ANY DISCREPANCIES OR UNCERTAINTIES MUST BE NOTIFIED TO THE PRINCIPAL DESIGNER. 4. BOUNDARIES HAVE BEEN ASSUMED ON SITE, CLARIFICATION AND CONFIRMATION OF BOUNDARY MUST BE TAKEN UP WITH A LEGAL PARTY. 5. ALL DRANINGS ARE TO BE PLAN-CHECKED BY THE LOCAL AUTHORITY, OR AN ALLOCATED INDEPENDENT BUILDING CONTROL SURVEYOR AND APPROVED. 6. ANY UNSPECIFIED USAGE OR REPRODUCTION OF 'HAC DESIGNS LTD' DRAWING ARE SUBJECT TO INTELLECTUAL PROPERTY AND COPYRIGHT LAWS AND MUST BE APPROVED BY PRIOR WRITTEN CONSENT. 7. STRUCTURAL ELEMENTS AND SUPPORTS MUST BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER; THAT HAS PROVIDED SUPPORTIVE CALCULATIONS TO BE APPROVED BY THE LOCAL AUTHORITY BEFORE INSTALLATION. 8. NON-SPECIFIED MATERIALS MUST BE CONSULTED AND APPROVED BY ALL RELEVANT PARTIES PRIOR TO INSTALLATION.

2 .3 SCALE 1:50 EXISTING GROUND FLOOR PLAN

EXISTING MANHOLE INVERT LEVEL: 0.72M



1:50 @ A2 APRIL 2020 HAYDEN COOPER

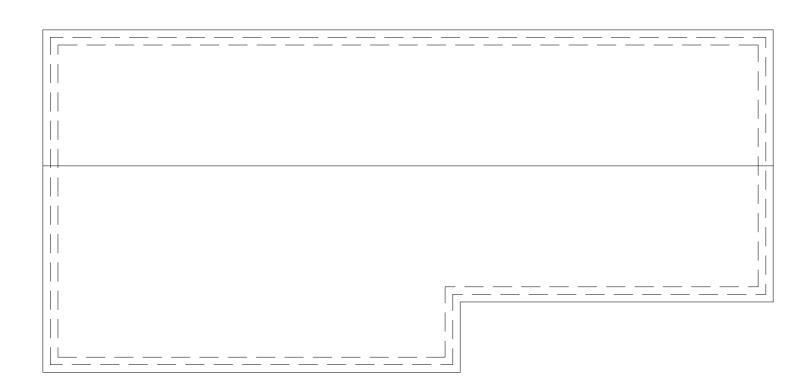
3

HAC DESIGNS LTD WYVOLS COURT

BASINGSTOKE ROAD SWALLOWFIELD RG7 1WY info@hac-designs.co.uk www.hac-designs.co.uk

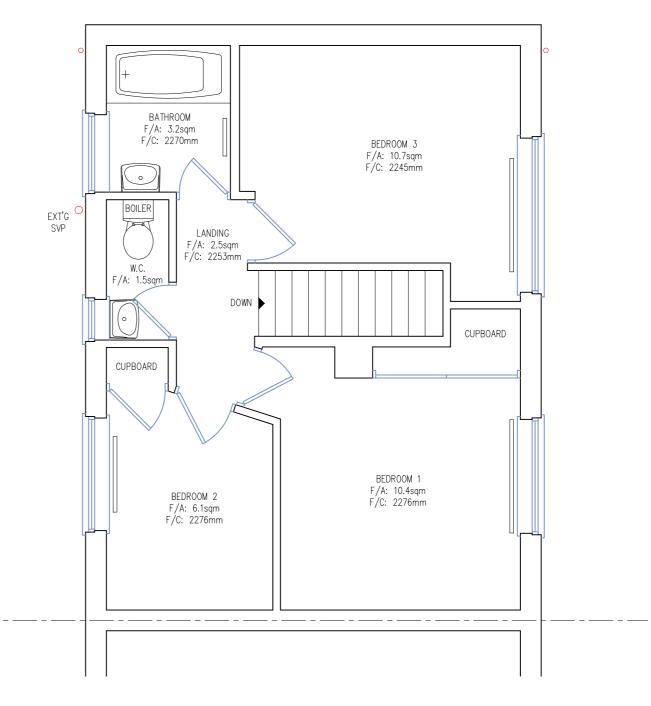






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2 .3 SCALE 1:50 EXISTING FIRST FLOOR PLAN



PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

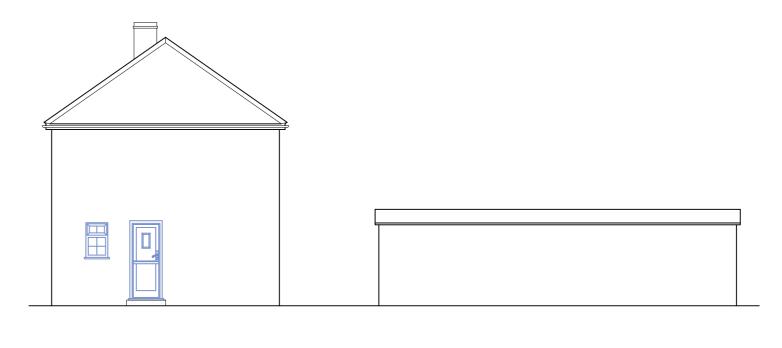
4

EXISTING FIRST FLOOR PLAN

1:50 @ A2 APRIL 2020 HAYDEN COOPER







EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

NOTES:

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0 1 2 3 4 5 6 7 8 9 10 SCALE 1:100



5

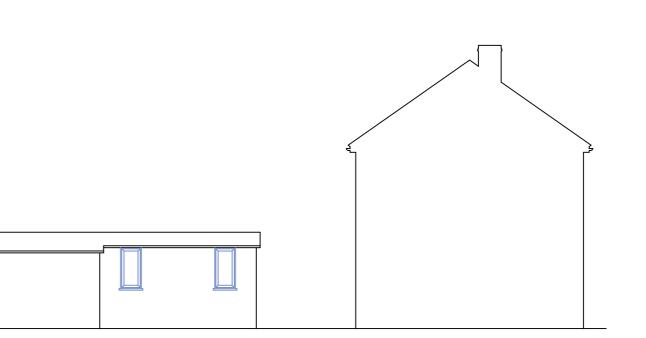


1:100 @ A2 APRIL 2020 HAYDEN COOPER

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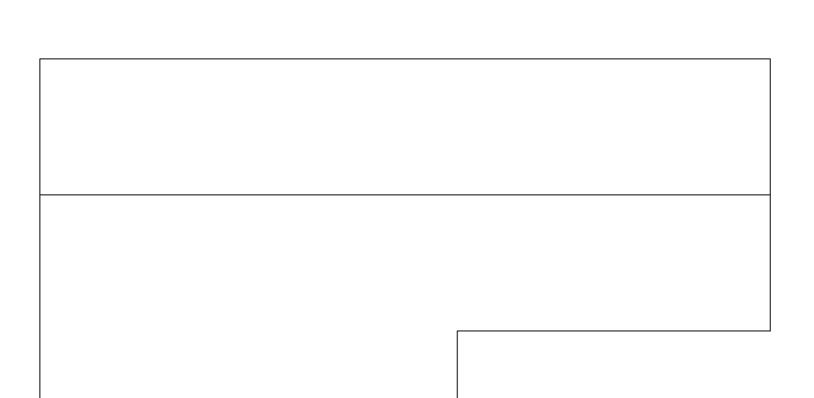


EXISTING SIDE ELEVATION



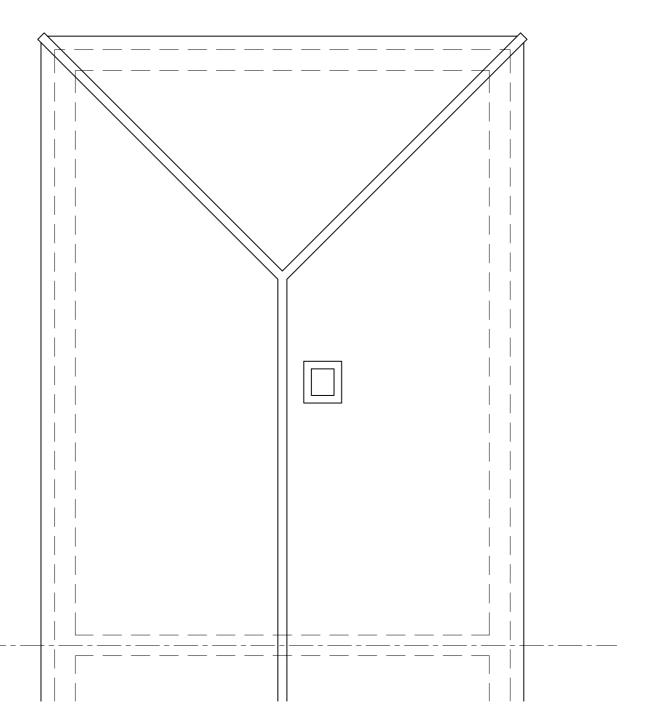
EXISTING SIDE ELEVATION





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0 1 2 3 4 5 SCALE 1:50



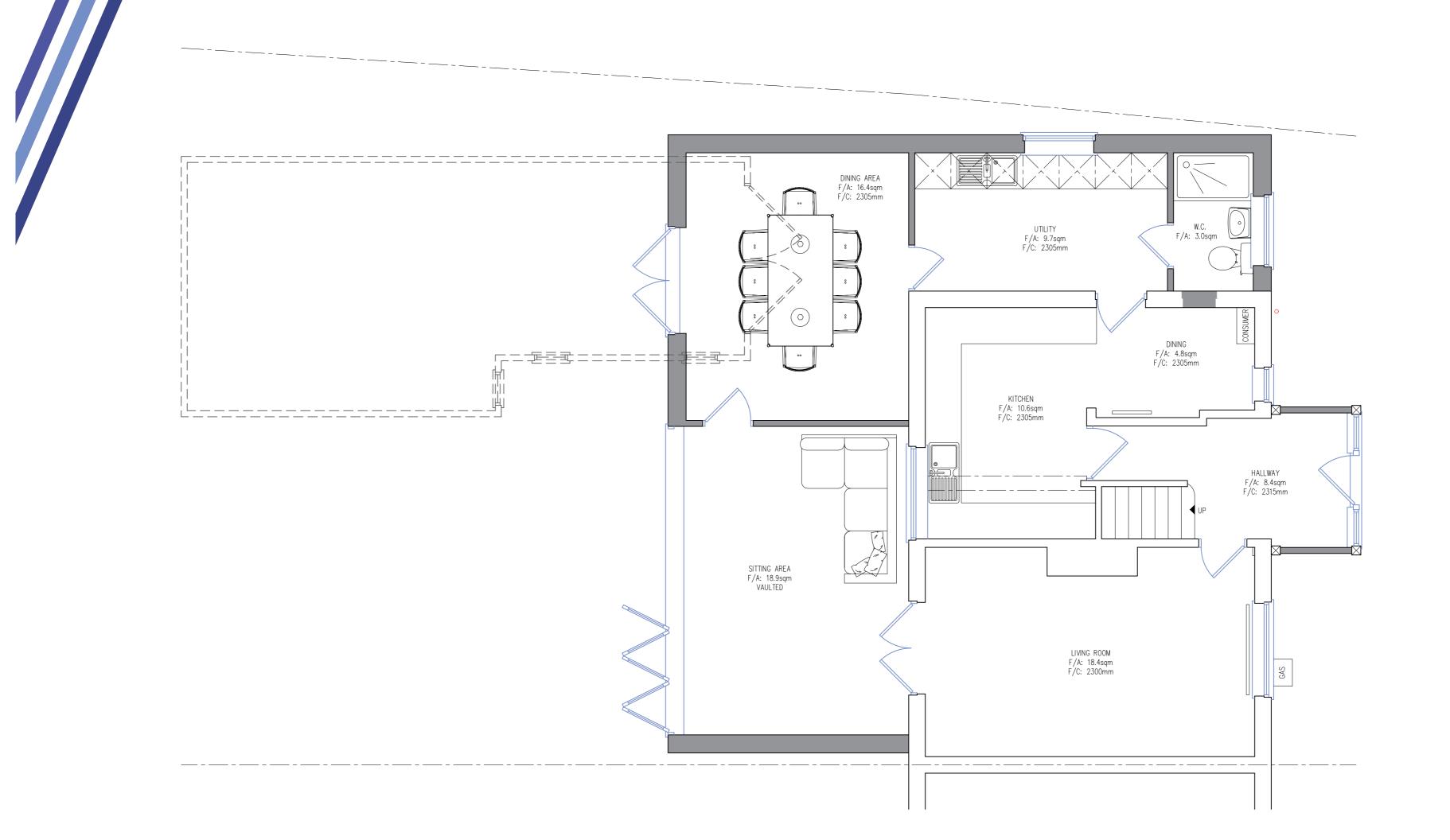
PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

6

EXISTING ROOF PLAN

1:50 @ A2 APRIL 2020 HAYDEN COOPER





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0 1 2 3 4 SCALE 1:50

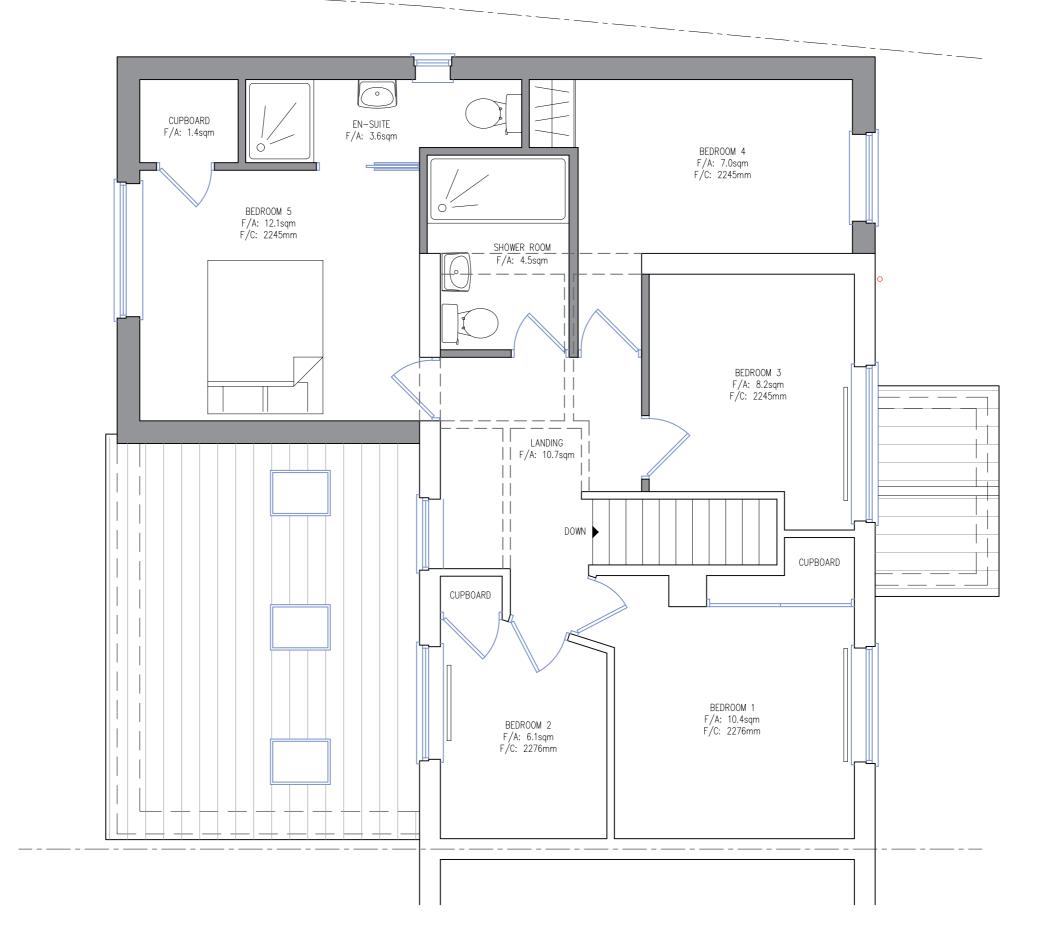


PROPOSED GROUND FLOOR PLAN (GENERAL)

1:50 @ A2 APRIL 2020 HAYDEN COOPER







1. CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS. 2. ANY DISCREPANCIES OR UNCERTAINTIES MUST BE NOTIFIED TO THE PRINCIPAL DESIGNER. 4. BOUNDARIES HAVE BEEN ASSUMED ON SITE, CLARIFICATION AND CONFIRMATION OF BOUNDARY MUST BE TAKEN UP WITH A LEGAL PARTY. 5. ALL DRANINGS ARE TO BE PLAN-CHECKED BY THE LOCAL AUTHORITY, OR AN ALLOCATED INDEPENDENT BUILDING CONTROL SURVEYOR AND APPROVED. 6. ANY UNSPECIFIED USAGE OR REPRODUCTION OF 'HAC DESIGNS LTD' DRAWING ARE SUBJECT TO INTELLECTUAL PROPERTY AND COPYRIGHT LAWS AND MUST BE APPROVED BY PRIOR WRITTEN CONSENT. 7. STRUCTURAL ELEMENTS AND SUPPORTS MUST BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER; THAT HAS PROVIDED SUPPORTIVE CALCULATIONS TO BE APPROVED BY THE LOCAL AUTHORITY BEFORE INSTALLATION. 8. NON-SPECIFIED MATERIALS MUST BE CONSULTED AND APPROVED BY ALL RELEVANT PARTIES PRIOR TO INSTALLATION.

2 .3 4 SCALE 1:50



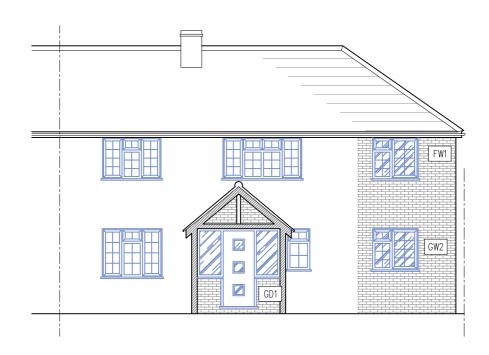
8

PROPOSED FIRST FLOOR PLAN (GENERAL)

1:50 @ A2 APRIL 2020 HAYDEN COOPER







PROPOSED FRONT ELEVATION

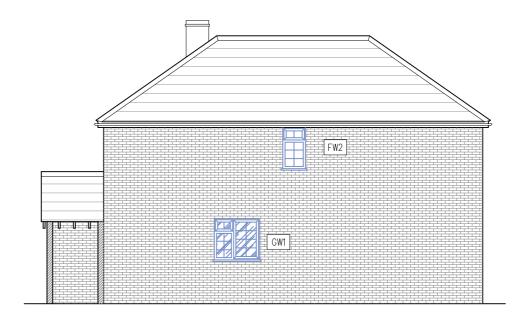


PROPOSED REAR ELEVATION

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0 1 2 3 4 5 6 7 8 9 10 SCALE 1:100



PROPOSED SIDE ELEVATION



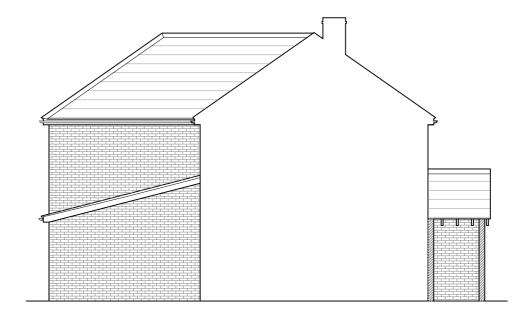
9

PROPOSED ELEVATIONS

1:100 @ A2 APRIL 2020 HAYDEN COOPER

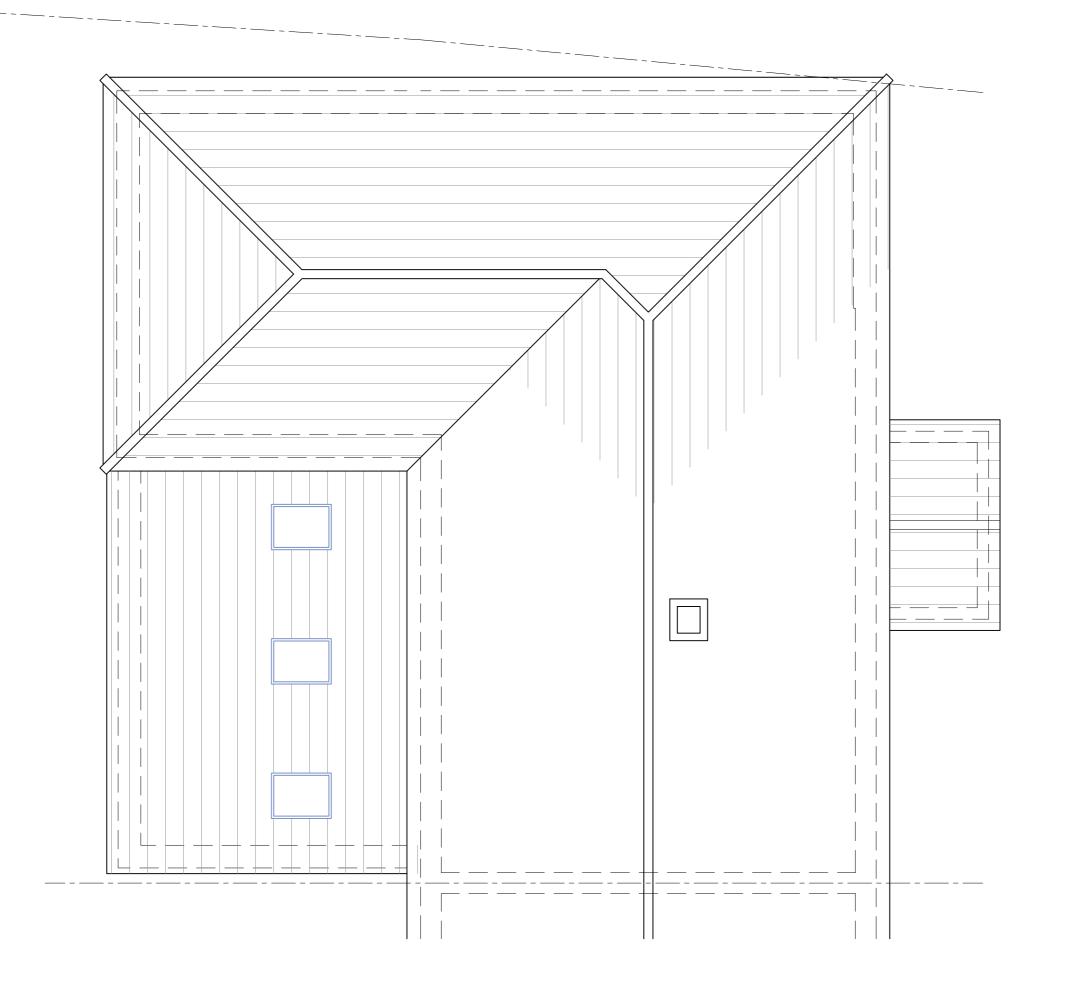
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PROPOSED SIDE ELEVATION





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2 1 3 4 SCALE 1:50



PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

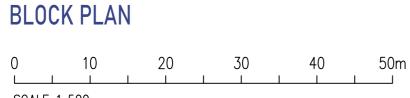
PROPOSED ROOF **FLOOR PLAN**

1:50 @ A2 APRIL 2020 HAYDEN COOPER









SCALE 1:500

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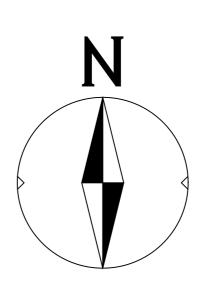
PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

LOCATION AND BLOCK PLAN

1:1250 & 1:500 @ A2 APRIL 2020 HAYDEN COOPER

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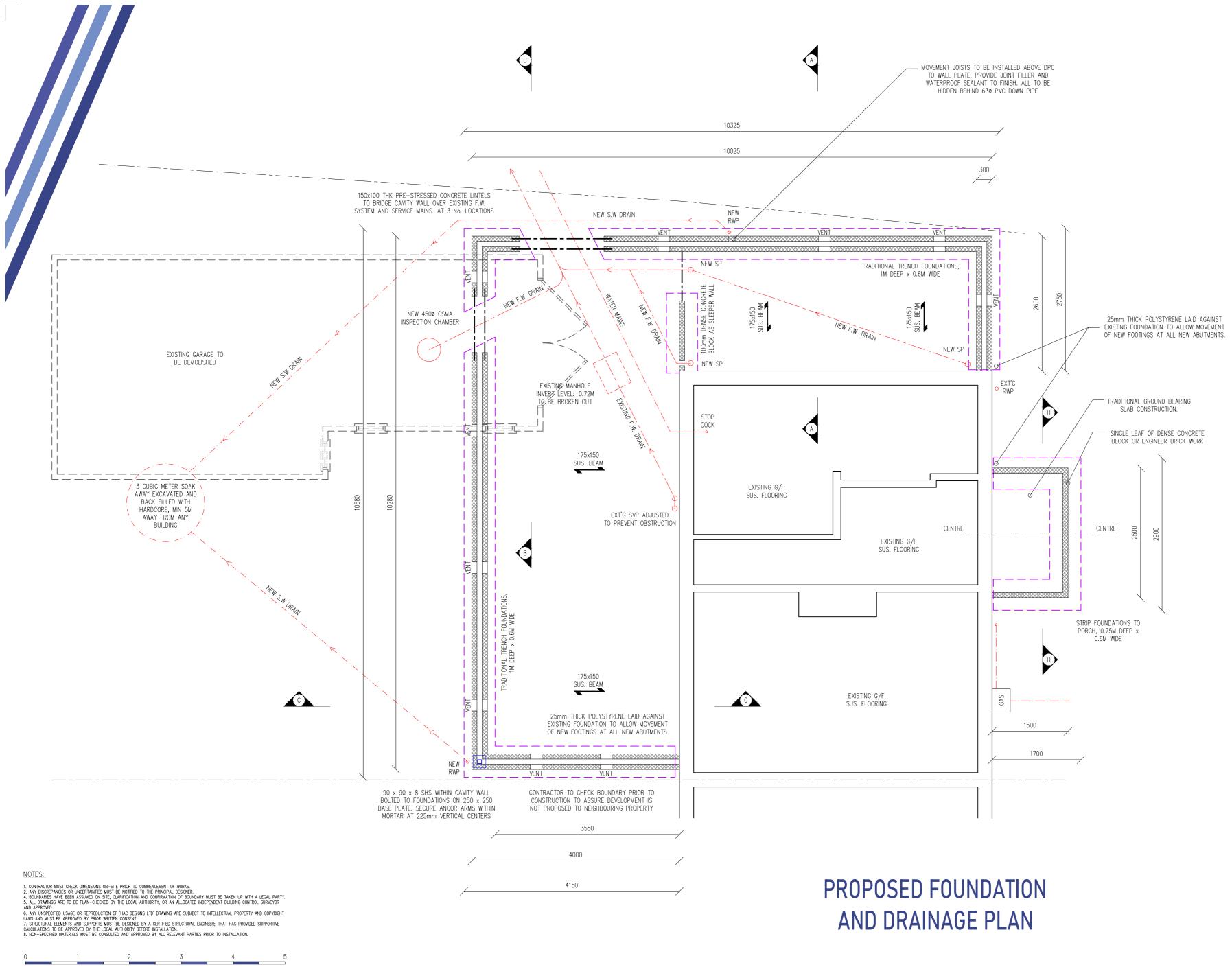




LOCATION PLAN \wedge

0	20m	40m	60m	80m	100m
SCALF	1:1250				

SCALE 1:1250



SCALE 1:50

PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

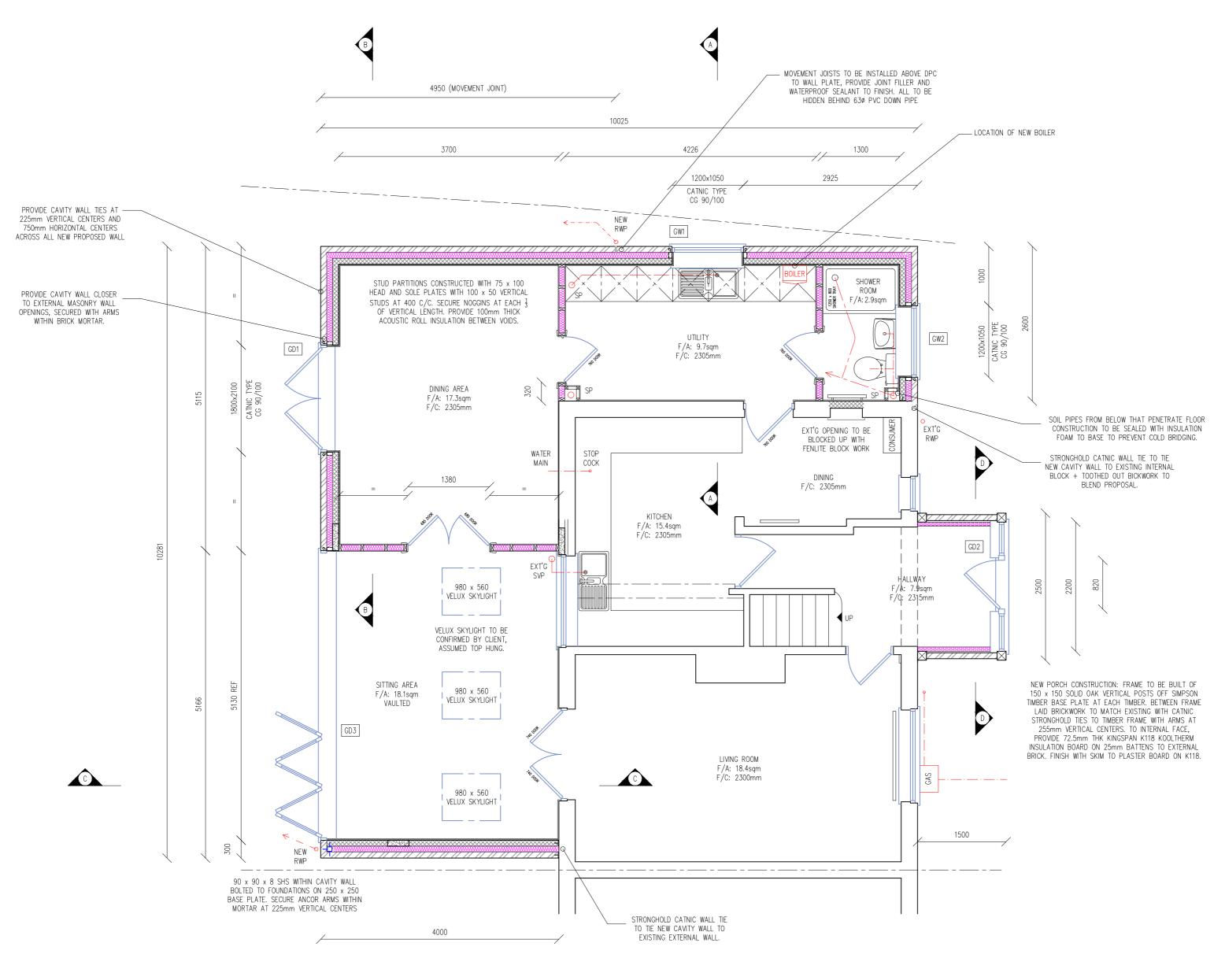
(12)

PROPOSED FOUNDATION AND DRAINAGE PLAN

1:50 @ A2 APRIL 2020 HAYDEN COOPER







I. CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS.
 ANY DISCREPANCIES OR UNCERTAINTIES MUST BE NOTIFIED TO THE PRINCIPAL DESIGNER.
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SCALE 1:50

PROPOSED GROUND FLOOR PLAN (ARCH)

PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

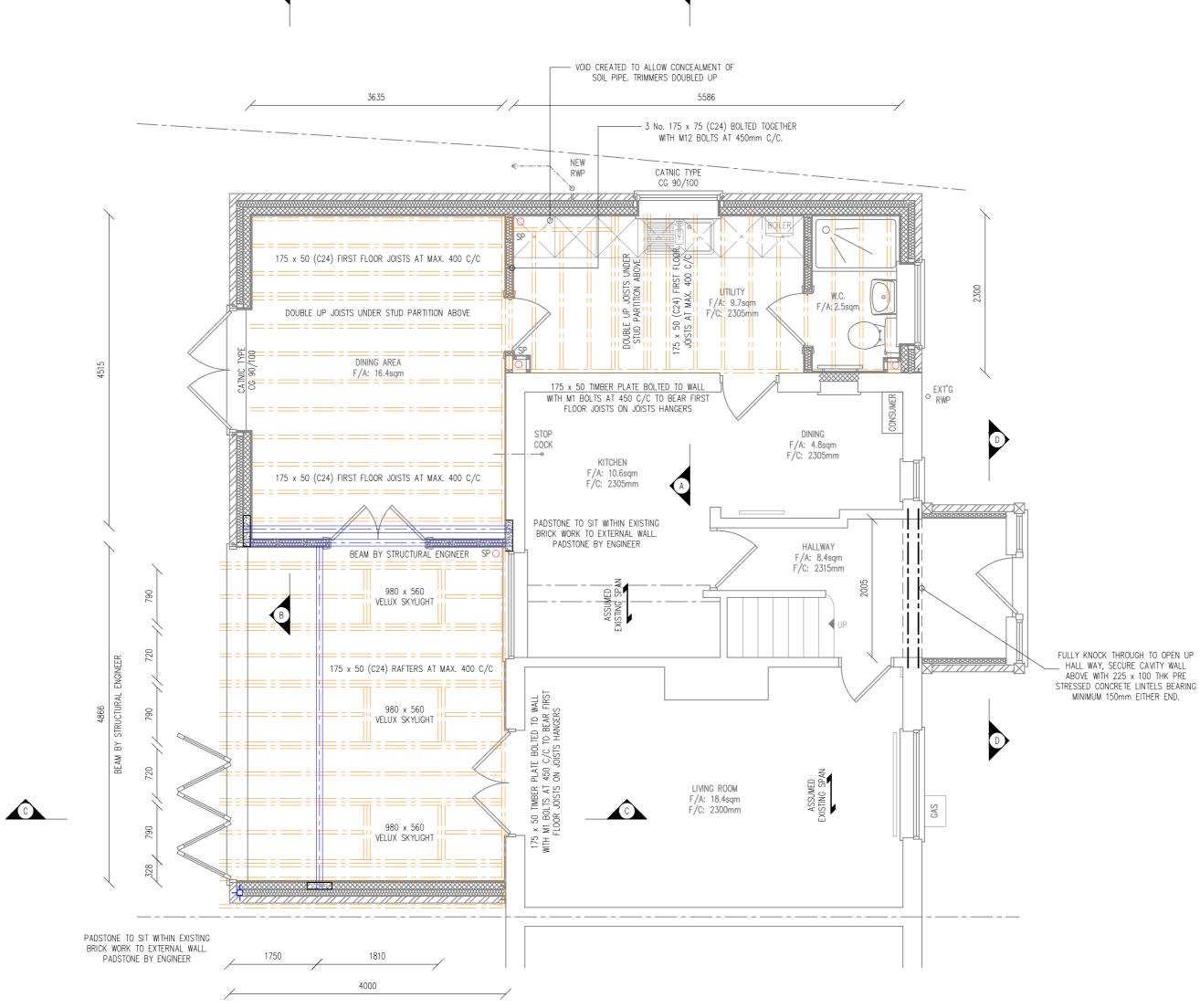
13

PROPOSED GROUND FLOOR PLAN (ARCH)

1:50 @ A2 APRIL 2020 HAYDEN COOPER







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SCALE 1:50

PROPOSED GROUND FLOOR PLAN (STRUC)







PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

PROPOSED GROUND FLOOR PLAN (STRUC)

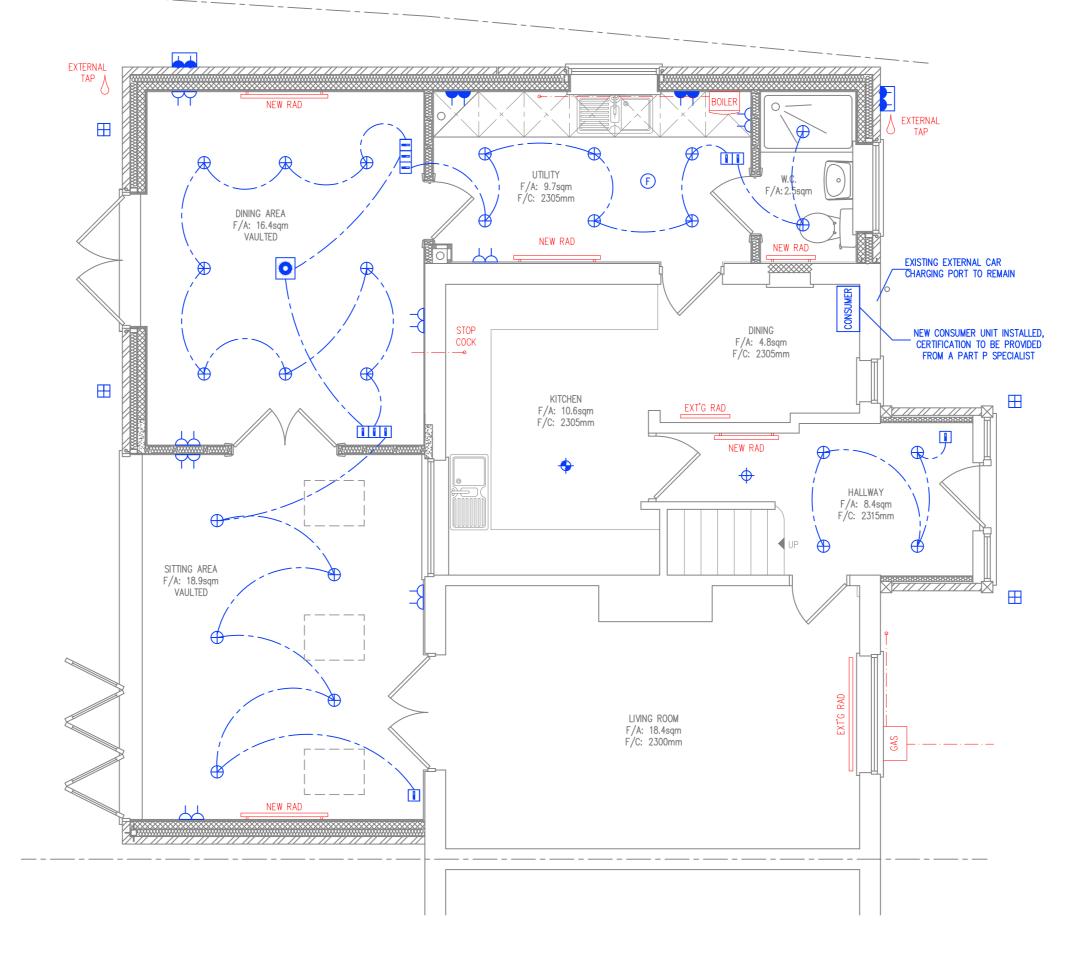
1:50 @ A2 APRIL 2020 HAYDEN COOPER





ARMORED CABLE FROM HOST DWELLING TO SUPPLY ELECTRICAL SERVICES TO NEW OUTBUILDING AND GATE, TO BE DESIGN AND INSTALLED BY A PART P REGISTERED SPECIALIST





NOTES:

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SCALE 1:50

PROPOSED GROUND FLOOR PLAN (M&E)

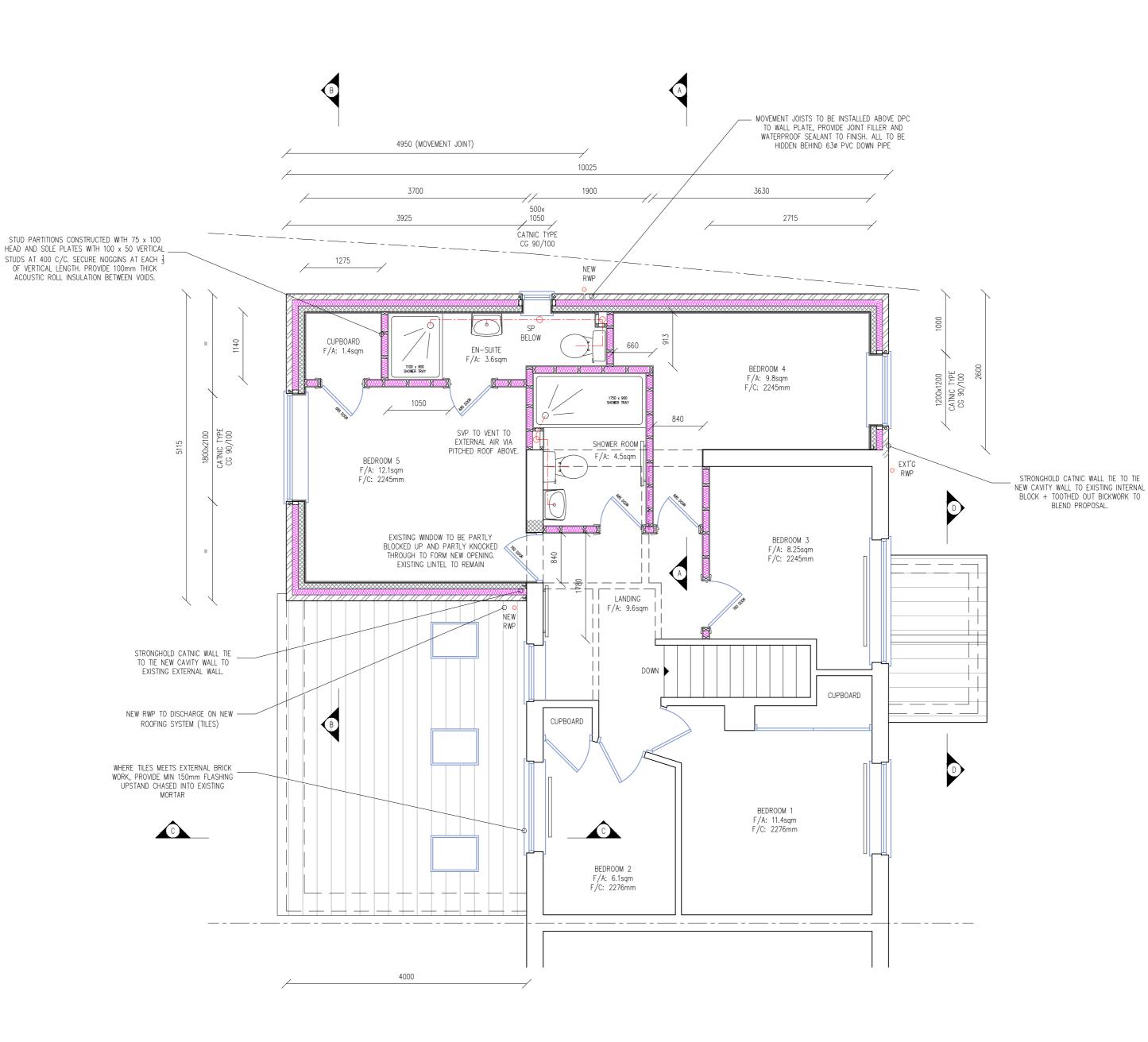
PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

(15)

PROPOSED GROUND FLOOR PLAN (M&E)

1:50 @ A2 APRIL 2020 HAYDEN COOPER







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SCALE 1:50

PROPOSED FIRST FLOOR PLAN (ARCH)

PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

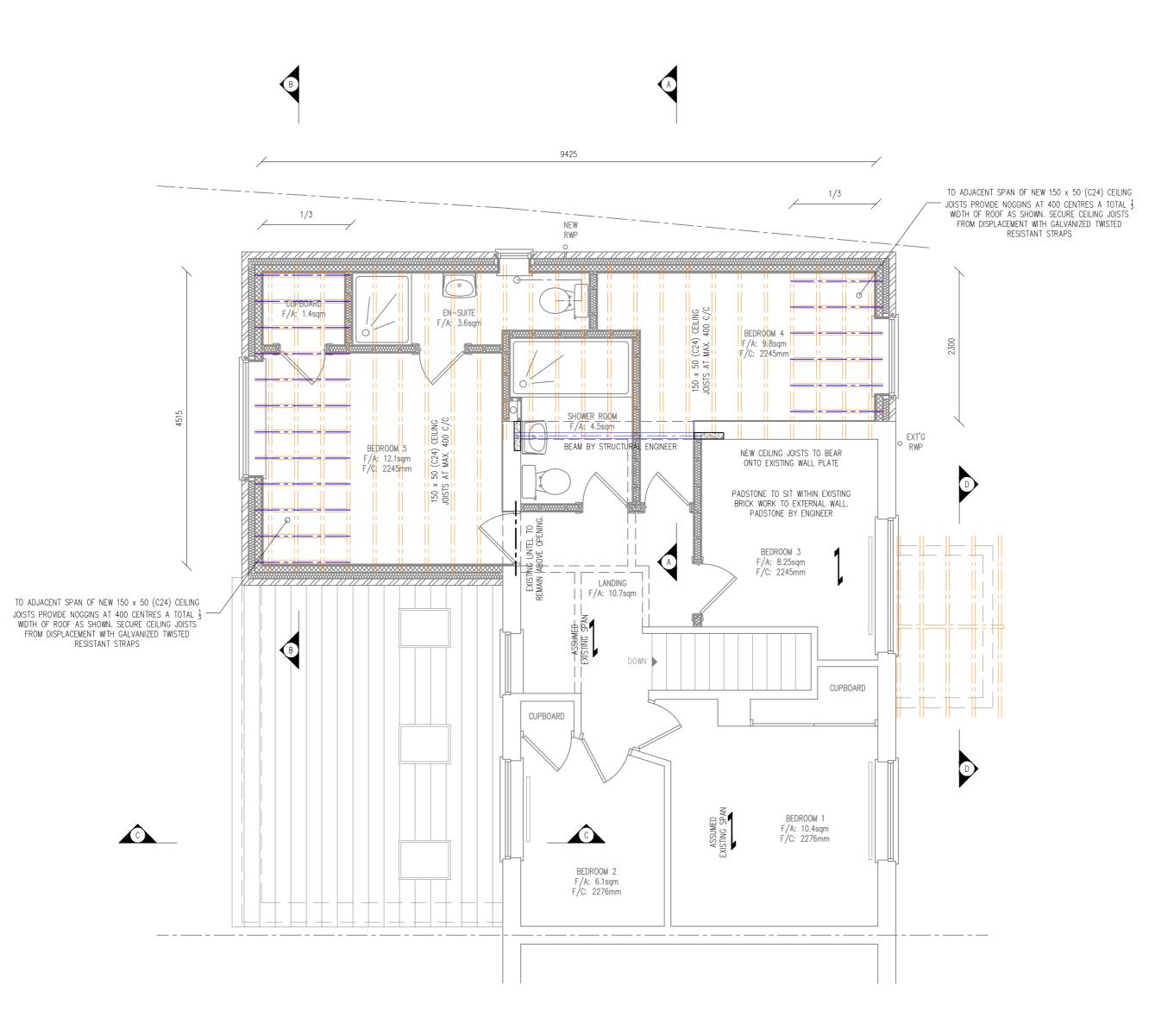
(16)

PROPOSED FIRST FLOOR PLAN (ARCH)

1:50 @ A2 APRIL 2020 HAYDEN COOPER







1. CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS. 2. ANY DISCREPANCIES OR UNCERTIAINTES MUST BE NOTIFIED TO THE PRINCIPAL DESIGNER. 4. BOUNDARIES HAVE BEEN ASSUMED ON SITE, CLARIFICATION AND CONFIRMATION OF BOUNDARY MUST BE TAKEN UP WITH A LEGAL PARTY. 5. ALL DRAWINGS ARE TO BE PLAN-CHECKED BY THE LOCAL AUTHORITY, OR AN ALLOCATED INDEPENDENT BUILDING CONTROL SURVEYOR AND APPROVED. 6. ANY UNSPECIFIED USAGE OR REPRODUCTION OF 'HAC DESIGNS LTD' DRAWING ARE SUBJECT TO INTELLECTUAL PROPERTY AND COPYRIGHT LAWS AND MUST BE APPROVED BY PRIOR WRITTEN CONSENT. 7. STRUCTURAL ELEMENTS AND SUPPORTS MUST BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER; THAT HAS PROVIDED SUPPORTIVE CALCULATIONS TO BE APPROVED BY THE LOCAL AUTHORITY BEFORE INSTALLATION. 8. NON-SPECIFIED MATERIALS MUST BE CONSULTED AND APPROVED BY ALL RELEVANT PARTIES PRIOR TO INSTALLATION.

SCALE 1:50

PROPOSED FIRST FLOOR PLAN (STRUC)

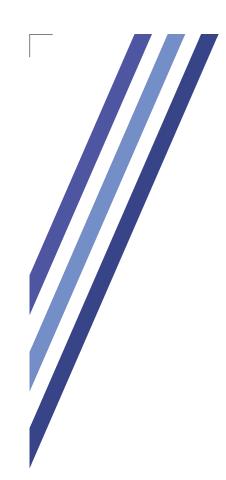
PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

(17)

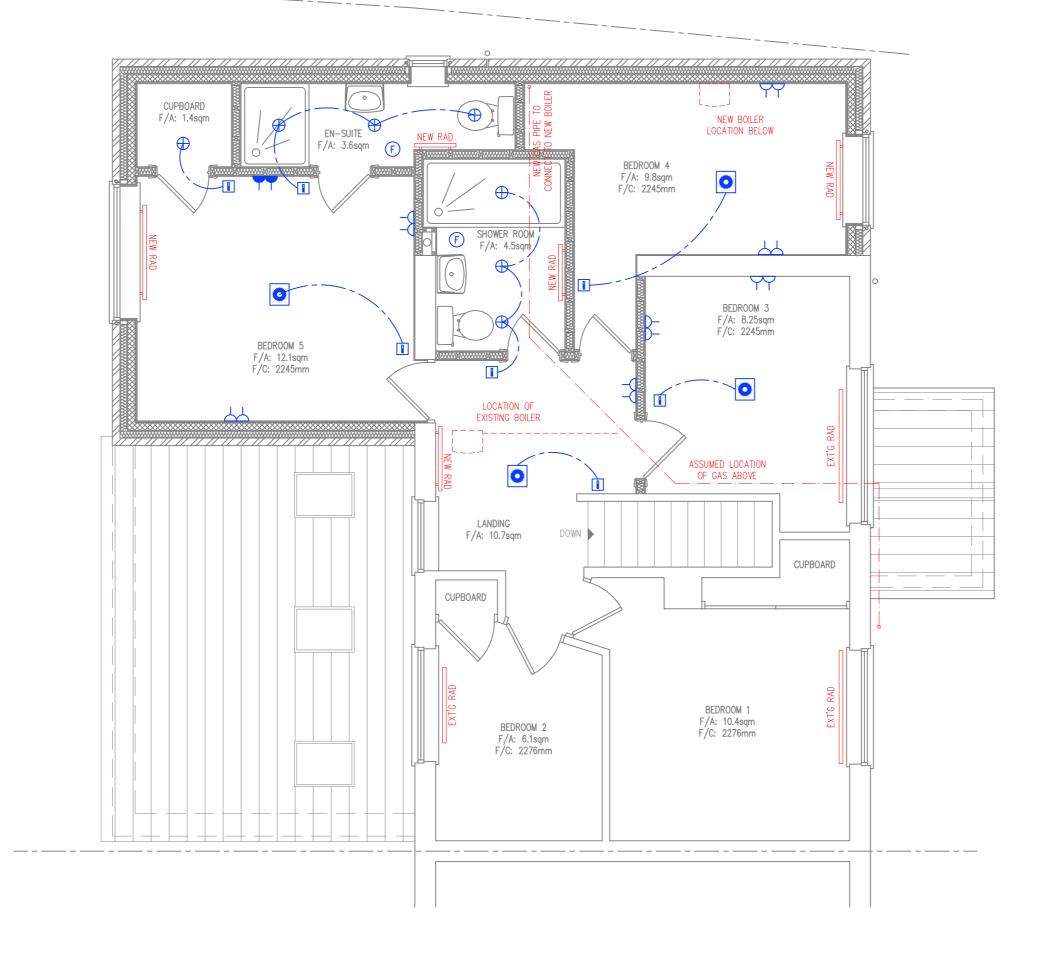
PROPOSED FIRST FLOOR PLAN (STRUC)

1:50 @ A2 APRIL 2020 HAYDEN COOPER





<u>LEGEND</u> LIGHT SWITCH (DIMMER TO BE CONFIRMED) LED RECESSED SPOTLIGHTS MATRIX TO BE AGREED \oplus AGREED WITH CLIENT (DIMMER TO BE CONFIRMED) LOW LEVEL SOCKET HIGH LEVEL SOCKET SWITCHED SINGLE 13amp SOCKET WALL MOUNTED HIGH LEVEL LED LIGHT \bigtriangledown \blacksquare EXTERNAL WALL MOUNTED LIGHT FITTING EXTERNAL ELECTRIC DOUBLE SOCKET \oplus CEILING MOUNTED LED LIGHT 0 CEILING MOUNTED PENDANT F FAN \oplus SMOKE HEAT \bullet * ALL ELECTRICAL DESIGN IS PROVISIONAL SUBJECT TO CLIENTS CONFIRMATION. ADDITIONAL INPUT TO BE CONSULTED BETWEEN CLIENT AND CONTRACTOR.



NOTES:

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SCALE 1:50

PROPOSED FIRST FLOOR PLAN (M&E)



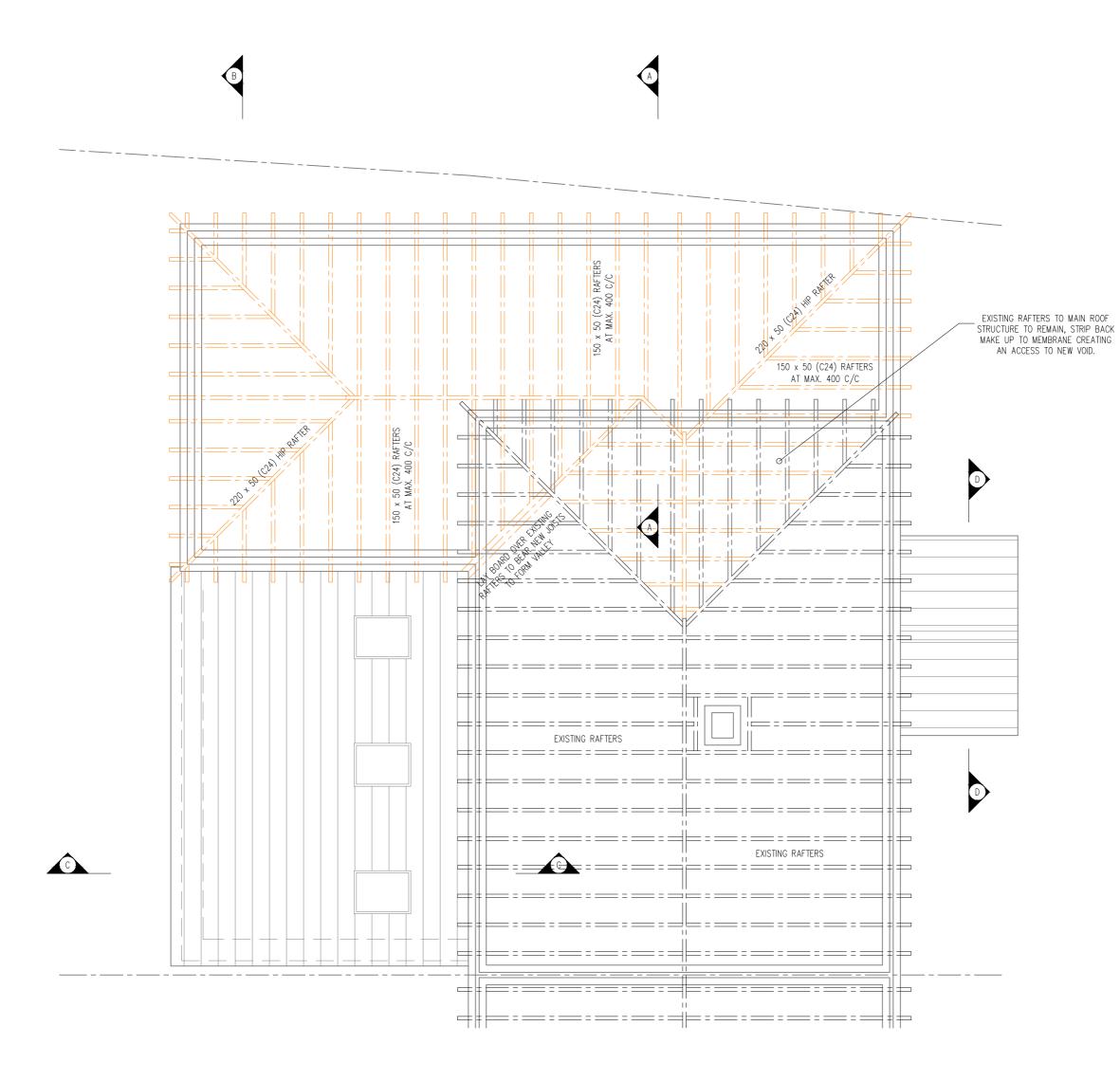
(18)

PROPOSED FIRST FLOOR PLAN (M&E)

1:50 @ A2 APRIL 2020 HAYDEN COOPER







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SCALE 1:50

PROPOSED ROOF PLAN (STRUC)

PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

PROPOSED **ROOF PLAN** (STRUC)

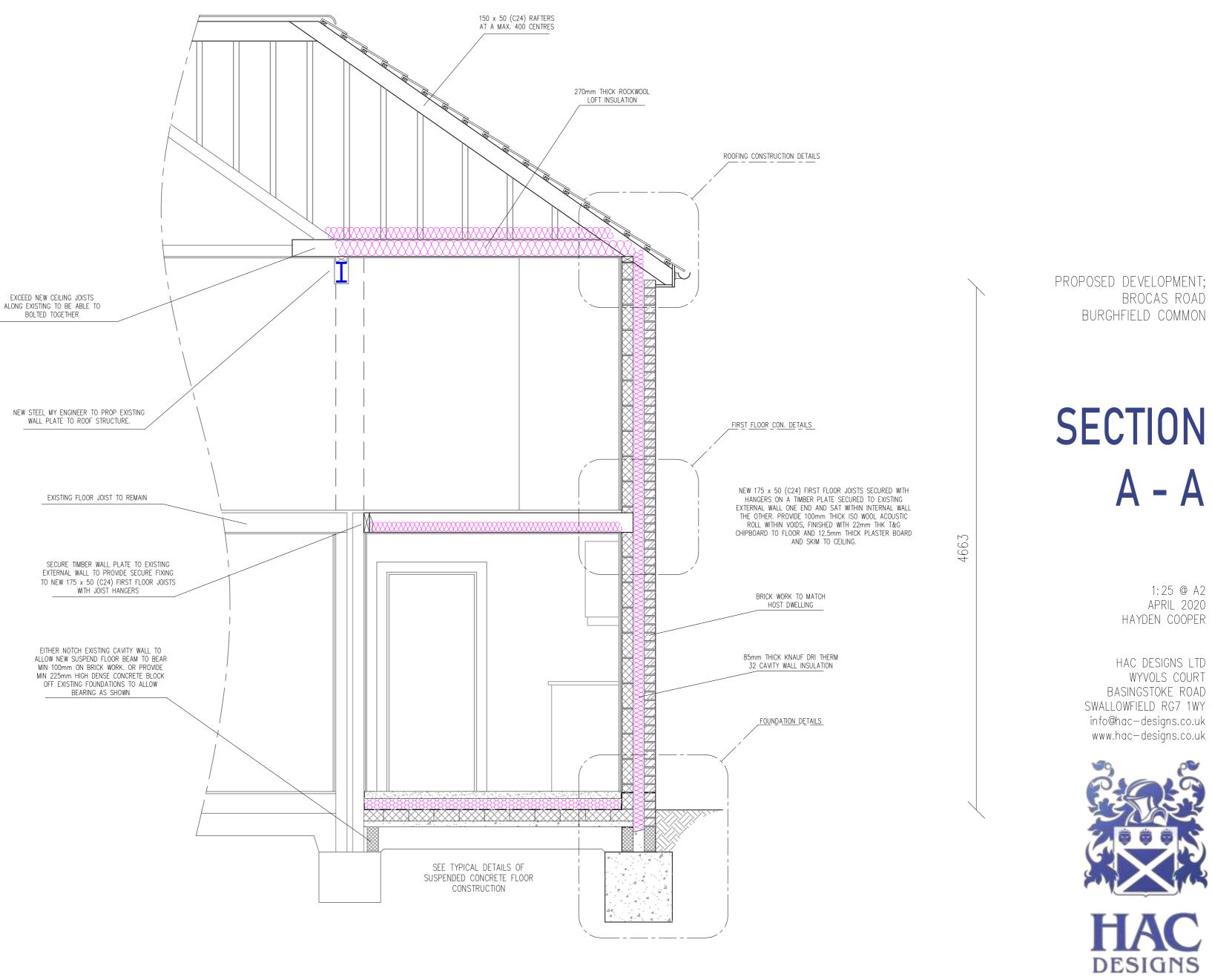
1:50 @ A2 APRIL 2020 HAYDEN COOPER

HAC DESIGNS LTD WYVOLS COURT BASINGSTOKE ROAD SWALLOWFIELD RG7 1WY info@hac-designs.co.uk www.hac-designs.co.uk



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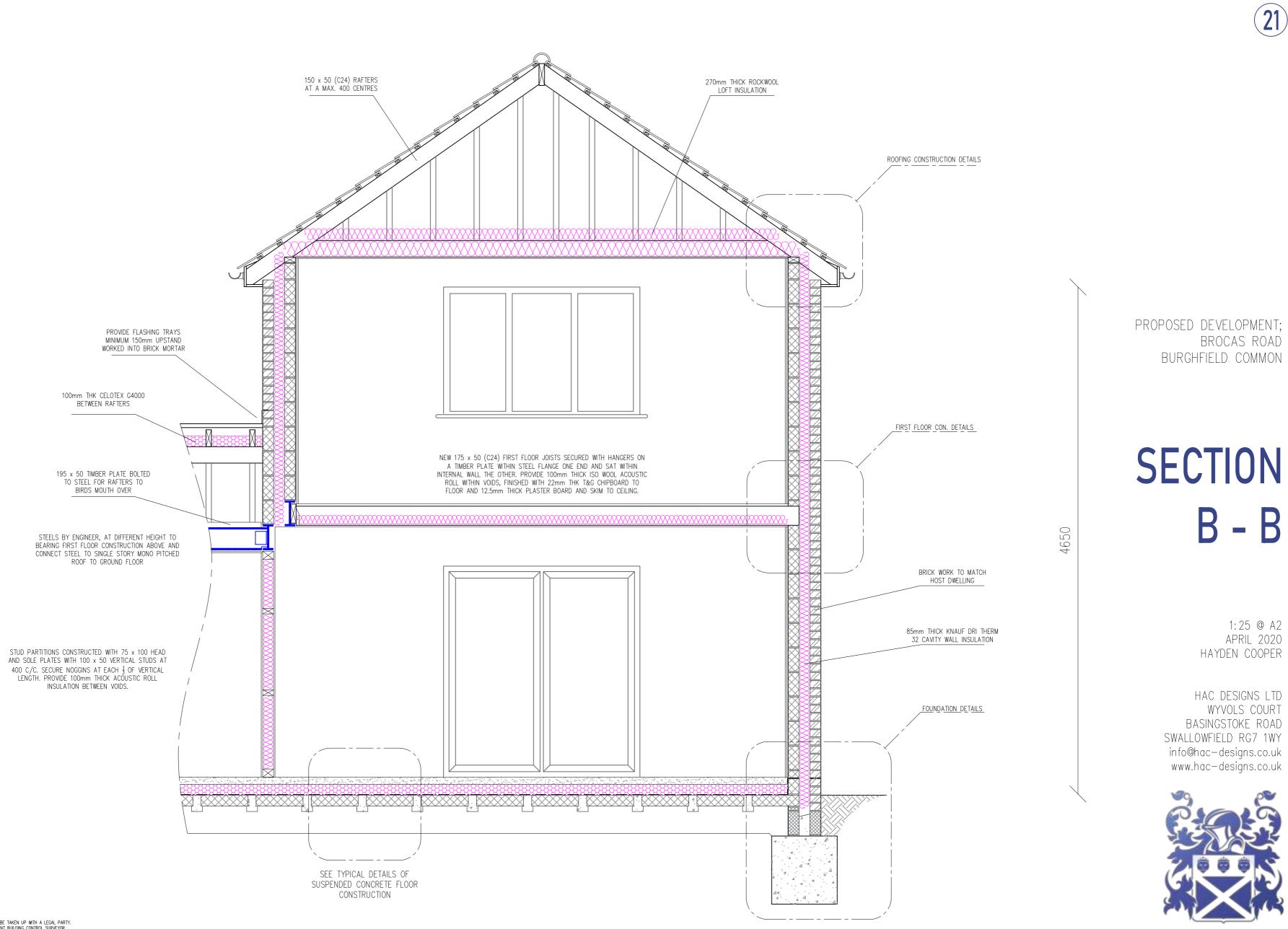




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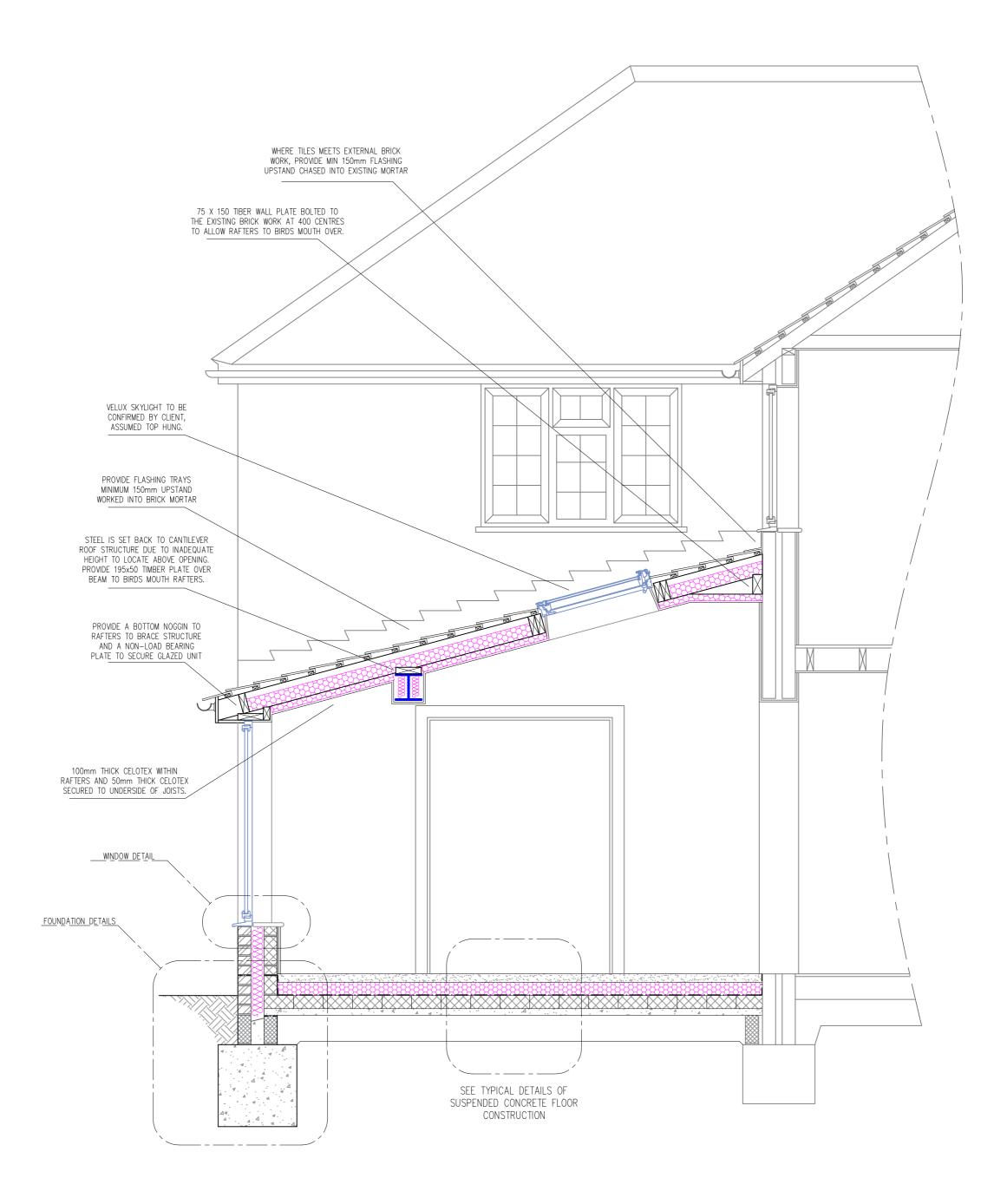


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SCALE 1:25

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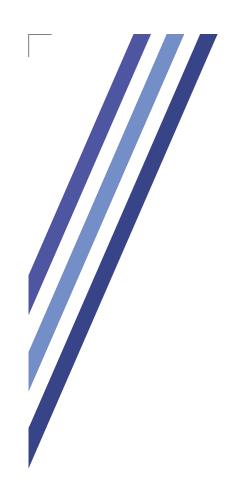
PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

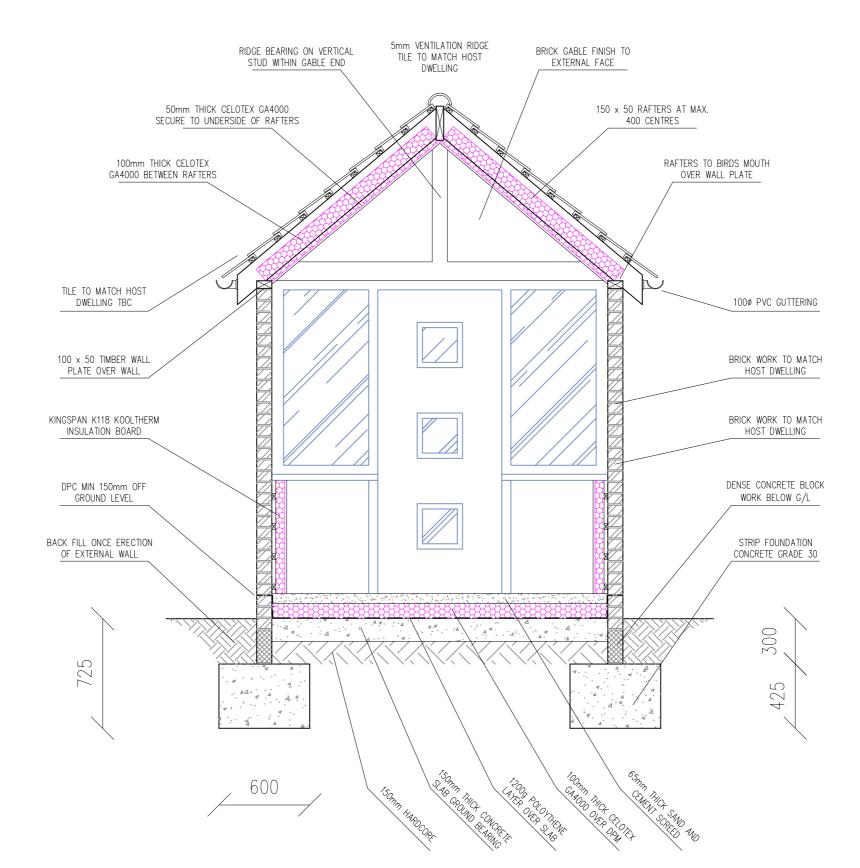
(22)

SECTION C - C

1:25 @ A2 APRIL 2020 HAYDEN COOPER







NEW PORCH CONSTRUCTION: FRAME TO BE BUILT OF 150 x 150 SOLID OAK VERTICAL POSTS OFF SIMPSON TIMBER BASE PLATE AT EACH TIMBER. BETWEEN FRAME LAID BRICKWORK TO MATCH EXISTING WITH CATNIC STRONGHOLD TIES TO TIMBER FRAME WITH ARMS AT 255mm VERTICAL CENTERS. TO INTERNAL FACE, PROVIDE 72.5mm THK KINGSPAN K118 KOOLTHERM INSULATION BOARD ON 25mm BATTENS TO EXTERNAL BRICK. FINISH WITH SKIM TO PLASTER BOARD ON K118.

NOTES:

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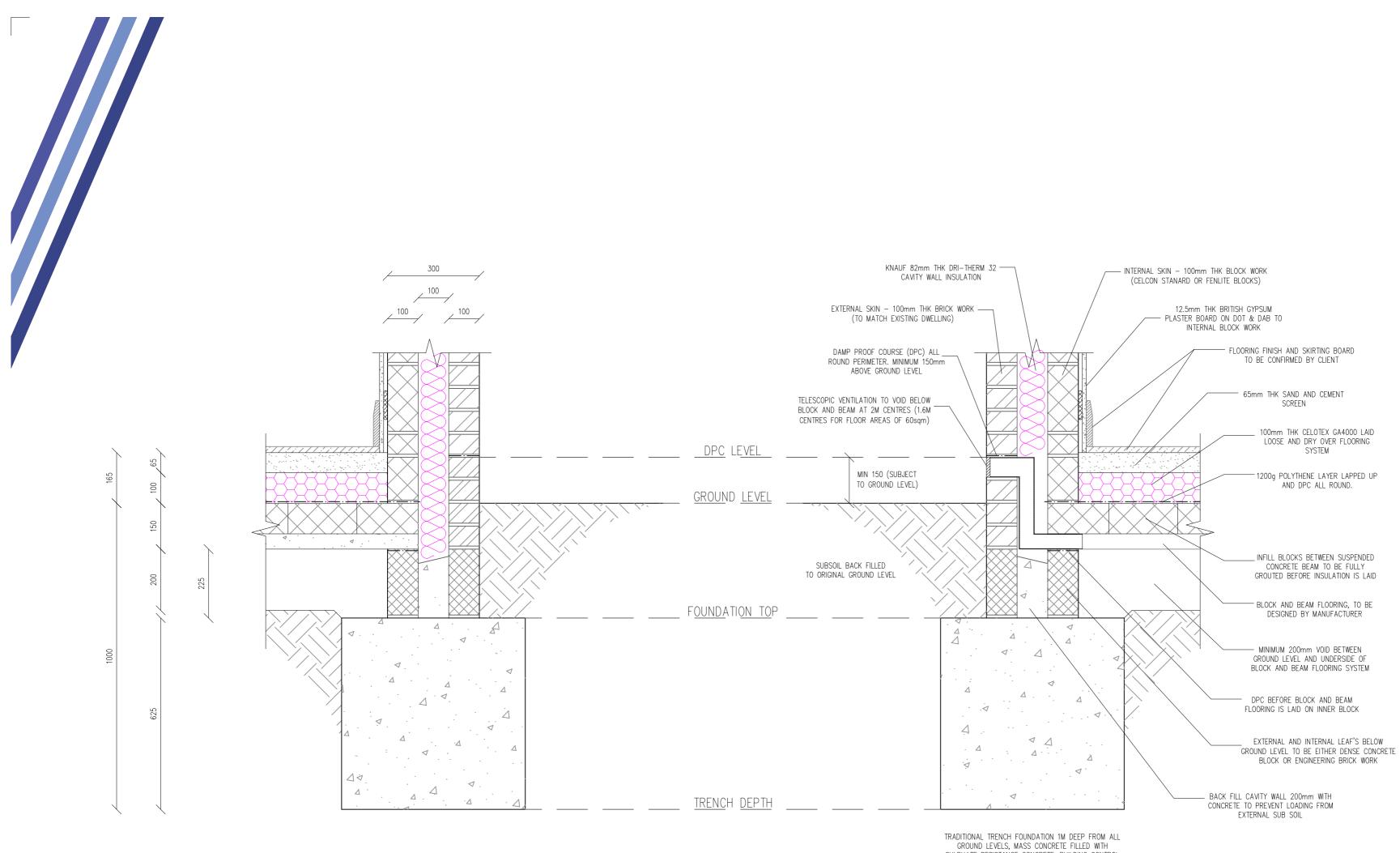
0 1 2 3 4 SCALE 1:25 PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

(23)

SECTION D - D

1:25 @ A2 APRIL 2020 HAYDEN COOPER





TYPICAL FOUNDATION DETAILS SHOWING TELESCOPIC VENTS

NOTES:

CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS.
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PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

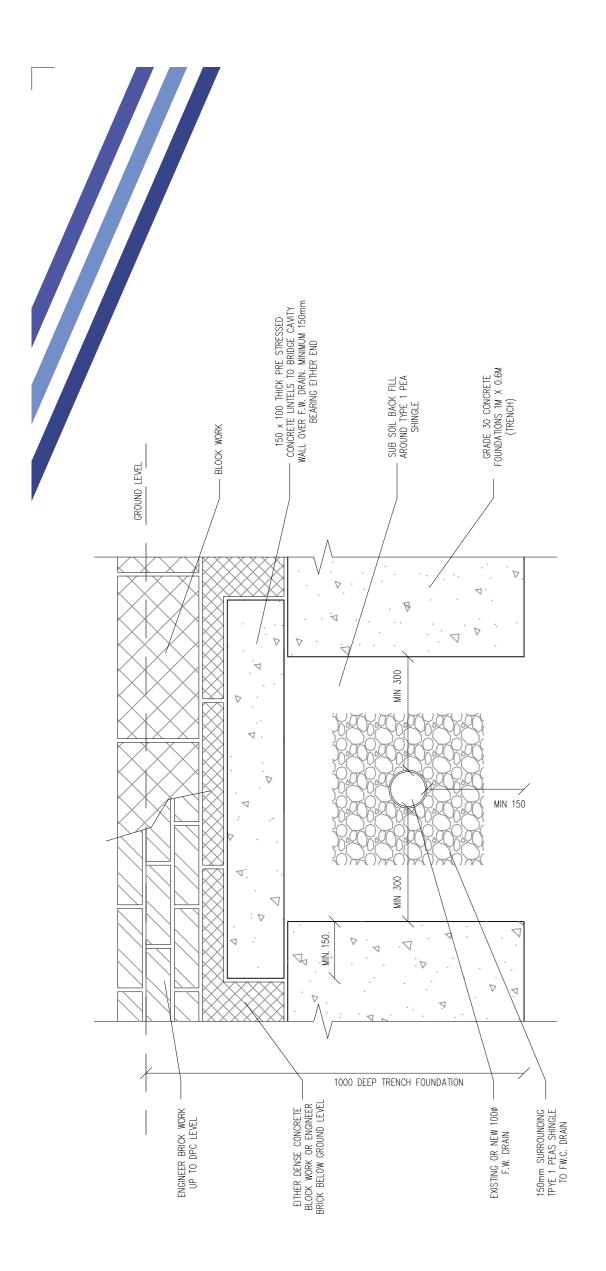
S **TYPICAL FOUNDATION DETAIL**

NO SCALE @ A2 APRIL 2020 HAYDEN COOPER

HAC DESIGNS LTD WYVOLS COURT BASINGSTOKE ROAD SWALLOWFIELD RG7 1WY info@hac-designs.co.uk www.hac-designs.co.uk

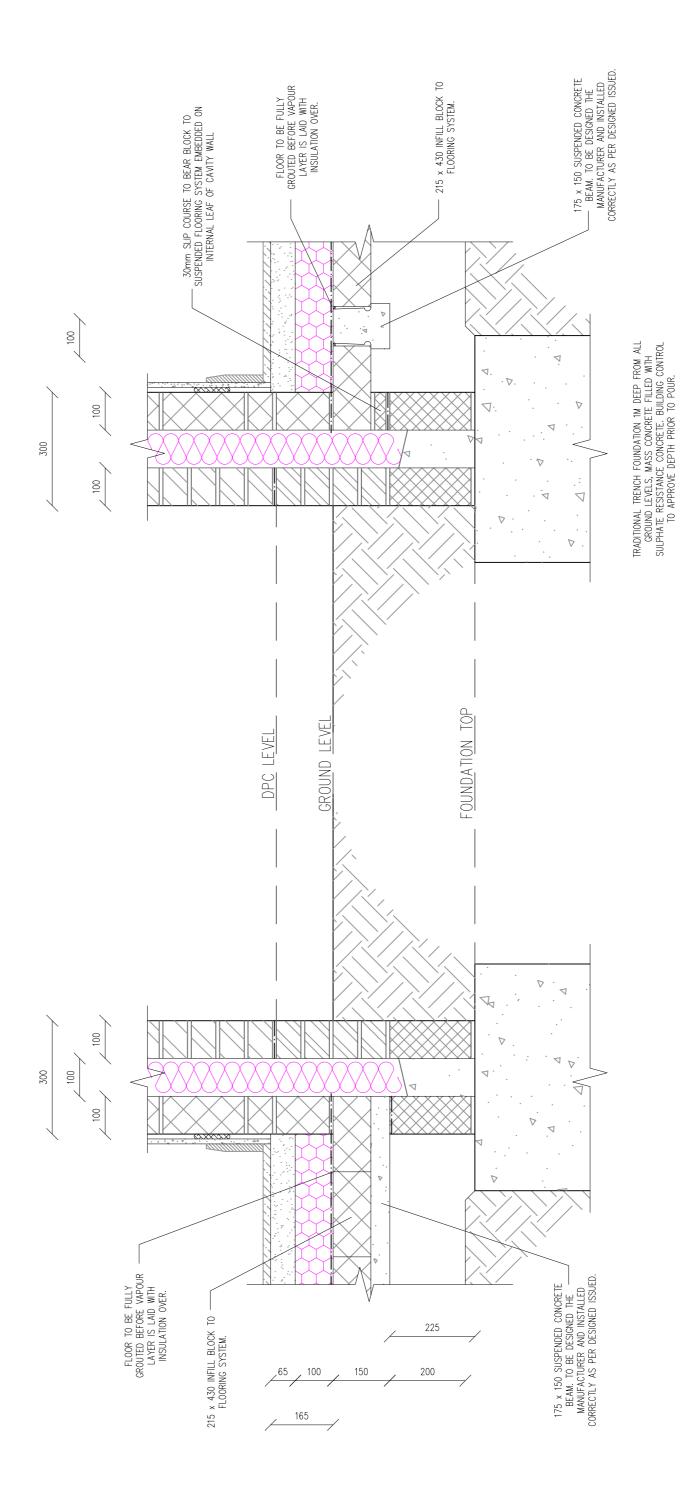


GROUND LEVELS, MASS CONCRETE FILLED WITH SULPHATE RESISTANCE CONCRETE. BUILDING CONTROL TO APPROVE DEPTH PRIOR TO POUR.



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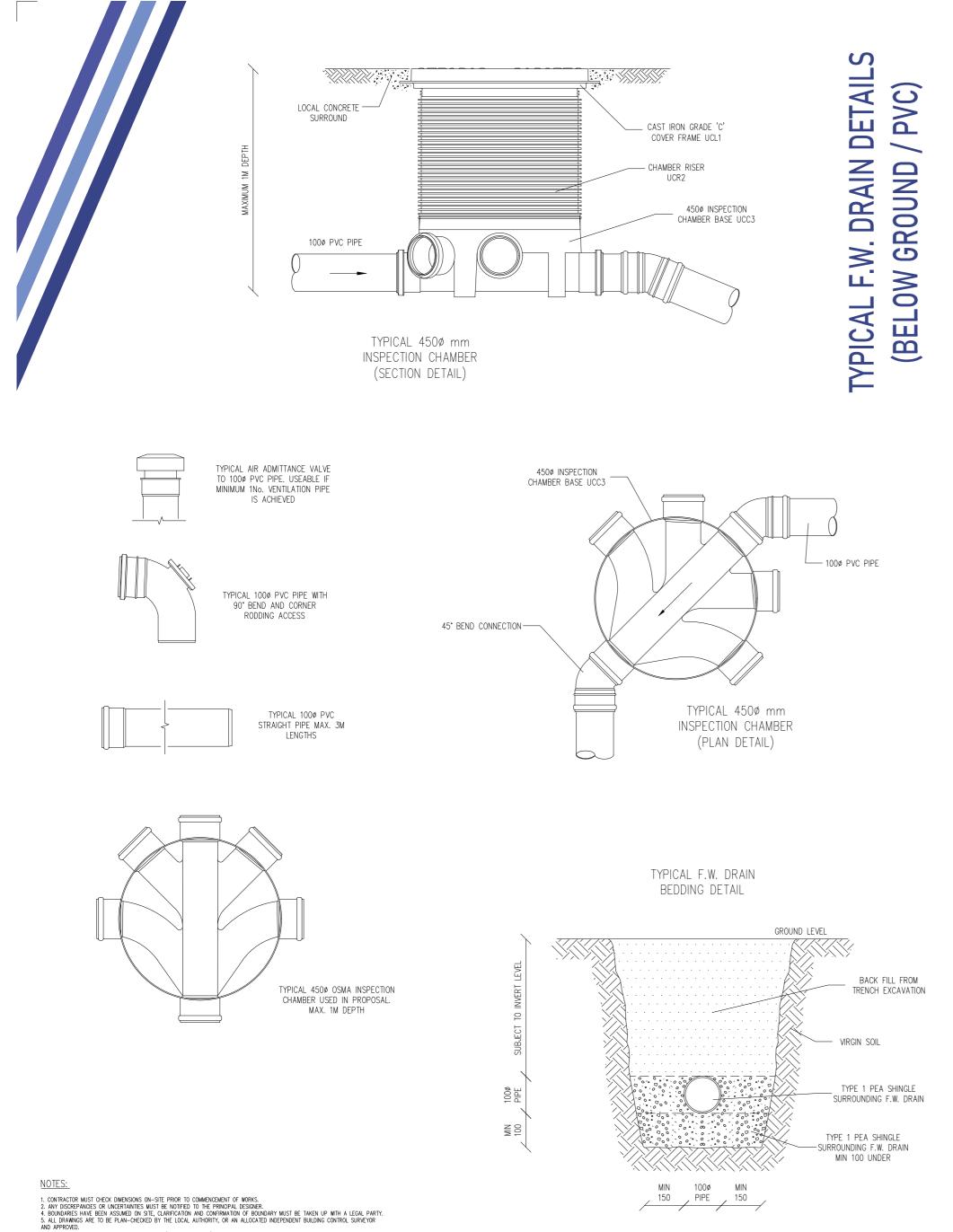
PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

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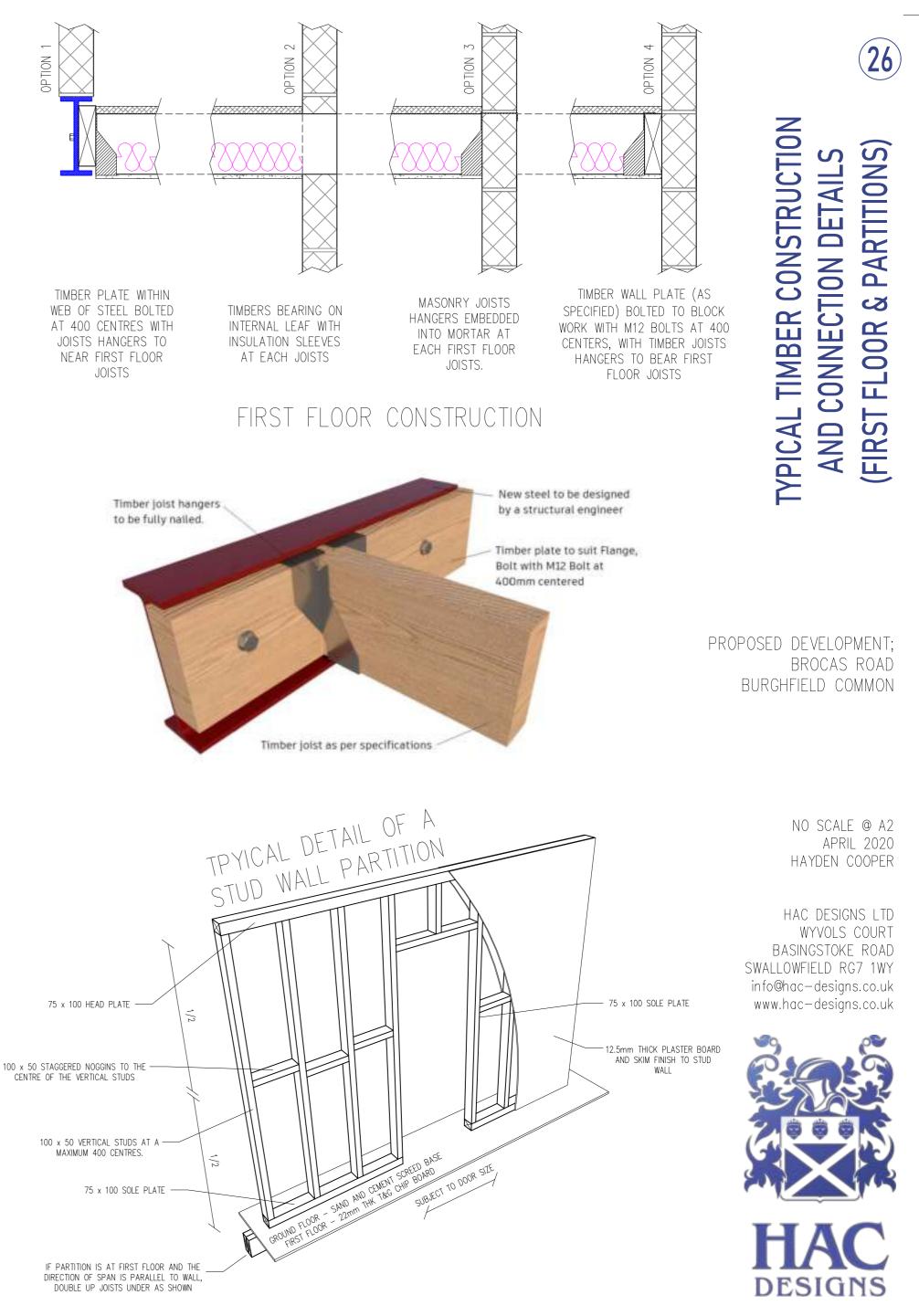
TYPICAL BLOCK AND BEAM DETAILS + BRIDGING CAVITY WALL OVER AN **F.W. DRAIN DETAIL**

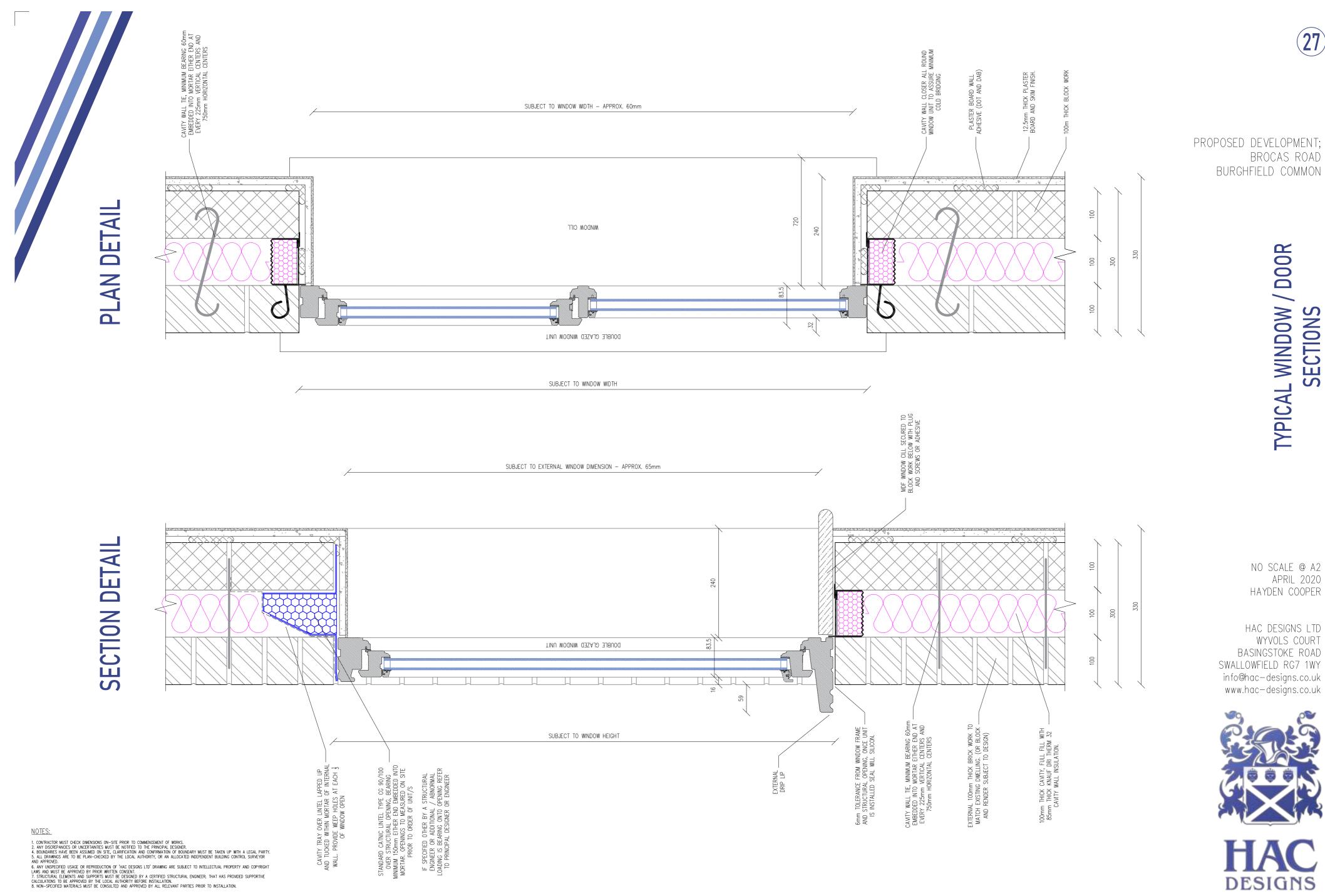
NO SCALE @ A2 APRIL 2020 HAYDEN COOPER

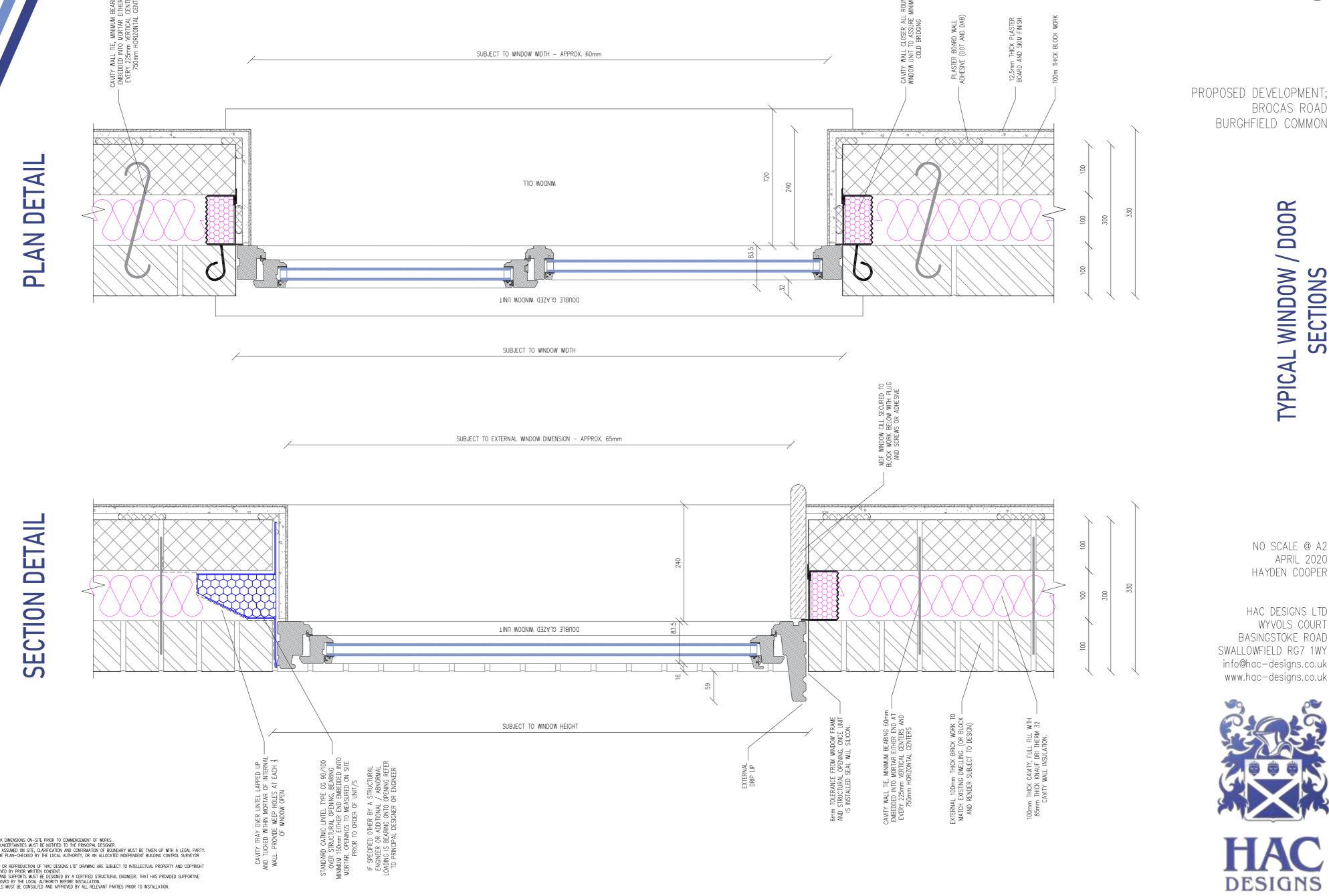


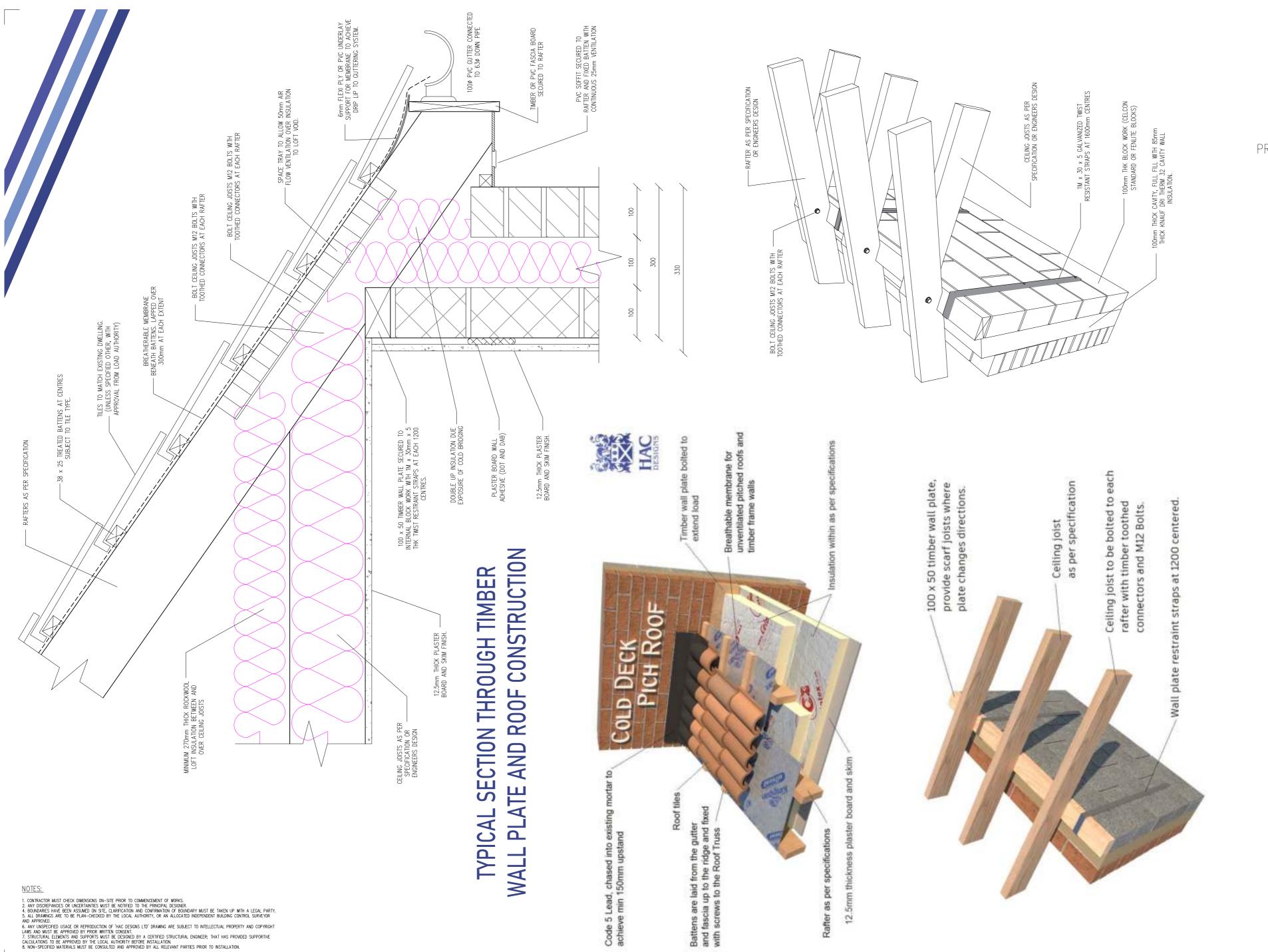


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PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

PLATE DETAIL + TYPICAL ROOF TYPICAL STRAPPED WALL / FASCIA CONSTRUCTION

NO SCALE @ A2 APRIL 2020 HAYDEN COOPER







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NOTE TO CONTRACTOR AND CLIENT: THE ABOVE TIMELINE IS TO BE CONFIRMED BETWEEN DESIGNER, CONTRACTOR AND CLIENT BEFORE ISSUING AND AGREEING THAT THE DURATION OF THE DEVELOPMENT IS BOTH ACHIEVABLE AND ACCEPTABLE. THE ESTIMATED TIME OF CONSTRUCTION IS SUBJECT TO ALTERATIONS, MODIFICATION AND DELAYS FOR UNFORESEEN REASONS SUCH AS; BUILDING CONTROL INSPECTION DATES / VISITS, DELIVERY OF MATERIALS AND GOODS, WEATHER CHANGES THUS CAUSING DELAYS AND CONTRACTUAL AGREEMENT BETWEEN CONTRACTOR AND CLIENT. THIS CALCULATION IS BASED ON A <u>TEAM</u> OF SPECIALIST TRADES, SHOULD THE ALLOCATED CONTRACTORS APPOINTED TO CARRY OUT THE WORKS HAVE FEWER STAFF, IT IS ENCOURAGE THE CLIENT TO BE CONSULTED AND INFORMED ON A DATE THAT WORKS WITH ALL PARTIES INVOLVED.THIS INFORMATION PROVIDED AIMS TO ADVISE THE CLIENT WITH THE EXPECTATIONS OF HIS / HER PROJECT, HAC DESIGNS LTD ARE NOT LIABLE SHOULD THIS TIME LINE NOT BE KEPT TO OR ACHIEVED. YOU MUST CONSULT THIS WITH YOUR CONTRACTOR OR LEGAL REPRESENTATIVE IF FAILURE TO MEET THE AGREEMENT.



PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

CONSTRUCTION TIMELINE



NO SCALE @ A2 APRIL 2020 HAYDEN COOPER



RADIATOR SCHEDULE								
ROOM	WIDTH	HEIGHT	STYLE					
GF - SITTING	1600	600	DELUXE / DOUBLE					
GF - DINNING	1600	600	DELUXE / DOUBLE					
GF - UTILITY	1200	600	DELUXE / DOUBLE					
GF - HALL WALL	1200	600	DELUXE / DOUBLE					
GF - SHOWER ROOM	550	1200	DECORATIVE					
FF - LANDING	1200	600	DELUXE / DOUBLE					
FF - BEDROOM 4	1200	600	DELUXE / DOUBLE					
FF - BEDROOM 5	1200	600	DELUXE / DOUBLE					
FF - SHOWER ROOM	600	1200	DECORATIVE					
FF - EN-SUITE	550	1200	DECORATIVE					

WINDOW AND DOOR SCHEDULE

	DOOR/S	WIDTH	HEIGHT	GLAZING	MATERIAL	STYLE					
	GD1	2190	2100	DOUBLE	PVC	DOOR+WIN					
	GD2	1800	2100	DOUBLE	PVC	PATIO					
	GD3	4860	2100	DOUBLE	TBC	BIFOLD					
	GW1	1200	1050	DOUBLE	PVC	CASEMENT					
	GW2	1200	1050	FROSTED	PVC	CASEMENT					
	FW1	1200	1050	DOUBLE	PVC	CASEMENT					
	FW2	600	1050	FROSTED	PVC	CASEMENT					
	FW3	1800	1200	DOUBLE	PVC	CASEMENT					
	V1	560	980	DOUBLE	PVC	VELUX					
	V2	560	980	DOUBLE	PVC	VELUX					
	V3	560	980	DOUBLE	PVC	VELUX					
		1	I								

	Room Schedule (SQM)										
	ROOM	STATUS	FLOOR	WALLS	CEILING	TOTAL					
	HALLWAY	PROPOSED	7.9	25.1	6.4	39.4					
	LIVING ROOM	EXISTING	18.4	34.4	18.4	71.2					
	KITCHEN	EXISTING	15.4	38.5	15.4	69.3					
	UTILITY	PROPOSED	9.7	23.9	9.7	43.3					
	SHOWER ROOM	PROPOSED	2.9	15.6	2.9	21.2					
	DINING ROOM	PROPOSED	17.3	31.2	17.3	65.8					
	SITTING ROOM	PROPOSED	18.1	25.5	16.5	60.2					
	LANDING	PROPOSED	9.6	30.8	9.6	50.1					
	BEDROOM 1	EXISTING	11.4	27.4	11.4	50.1					
	BEDROOM 2	EXISTING	6.1	20.2	6.1	32.8					
	BEDROOM 3	PROPOSED	8.3	22.6	8.3	39.1					
	BEDROOM 4	PROPOSED	9.8	27.5	9.8	47.1					
	BEDROOM 5	PROPOSED	12.1	27.0	12.1	51.2					
	BATHROOM	PROPOSED	4.5	11.5	4.5	20.5					
	EN-SUITE	PROPOSED	3.6	10.5	3.6	17.4					
		TOTALS	155.1	371.6	152.0	678.6					

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Ground floor constructuion Concrete roundation pour (Grade 3 Durne Controlle Ripska (Releve GL) 110x DOPresetnessed (arr PPC under plock and beam. 135 x 120 Bus, Block and beam (R.Sn 225 x 480 hhll blocks to block and 215 x 65 To esceptic Vent to block or 1200g Dirythene Ivanip Pois d Meml 100mm like e ofes CAROD model Sand and coment spreen

External wall construction lutental les li Celenn Black (OCou External test's Brickward (JOChrichk) 92mm the Knulf on them? 2 cavity és mi 225mill Gasity wall ties. Cavity Closers Cavity Trays over openings Wilcon Holes

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First Refor Construction D5x10(C2) Million net Simpson Joist Langers -100mm likes-99mil Areas in tasal 1863 22mm thk Chiptea x Plaster Board And Skim (GF Colling)

Mono Pritched Roof 195 x 30 Traher, Pistersaer vieel 1 dz. Co Sid-zanised twist straps 1/5 x 201024; SW https:// Aartors 100 thk Celetex GA4000 50 thk Celotex 6A4630 Re-otherally Membrane 566 Beiteine Peof files (190) Keda & gutter Raige Rouid

Main Pitched Root 1002 OF other Wall Plate. 1MX 90 x 5 Glovarnsed twist straps LSB x 33 (C34) Celling Joists 156 x 50 (074) 567 Tim Abril Barrey 2202-01 (024) SW timber / 11 o & 2 270 thk Berkwool loft insulation -Ridge Soord Ley Rosols teachar i sgi lach ng tarosh 🛶 Mitte Breatherable Membrane tala Der Letter Reer files (TBC) Ridge Tiles Fastia & gatier Porch Knock, hearships and yearship wall Econol en d'erversiter Mass concrete your for foundations below ground bilde/ block work Seoglacis I Haldoore corret—1. "ł-D MP D20 Loar insulation 100mm Celetes **SA**A ereed (Sand & remend) -Loothins fr 197 Er til work 150x - 50 O-k prists (Selicy) 100 x 100 bek timbers (A Frame to) 25 x 35 patter x for wall manlating Wall Involution K112 Chippene Koo

1 Mix 20 x 5 Glovanised twistist aps 150 x 30 (C34) Raiters Nidge I - wol 1000 në telo es 600000 Soff-K Colotex 6A4630 RichbergLik, Mehribiane .

WW Besterne Peef files (1PC)

Keda & gutter

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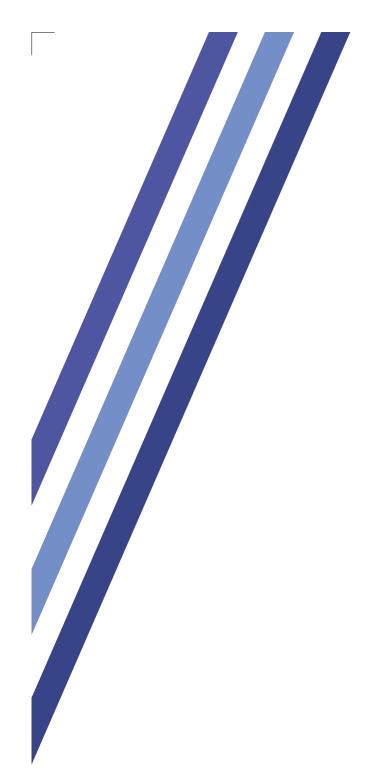


PROPOSED DEVELOPMENT; BROCAS ROAD BURGHFIELD COMMON

AND QUANT MATERIALS LISTS SCHEDULES LL. 0

1:50 @ A2 APRIL 2020 HAYDEN COOPER





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