



## BROCAS BURGHFIELD COMMON

DEMOLISHMENT OF AN EXISTING GARAGE FOR THE  
PROPOSED TWO STORY REAR & SINGLE STORY SIDE  
EXTENSION WITH INTERNAL ALTERATIONS TO THE HOST  
DWELLING.

DRAWN BY:  
HAYDEN A. COOPER

HAC DESIGNS Ltd

info@hac-designs.co.uk

0118 373 4003

HAC GROUP

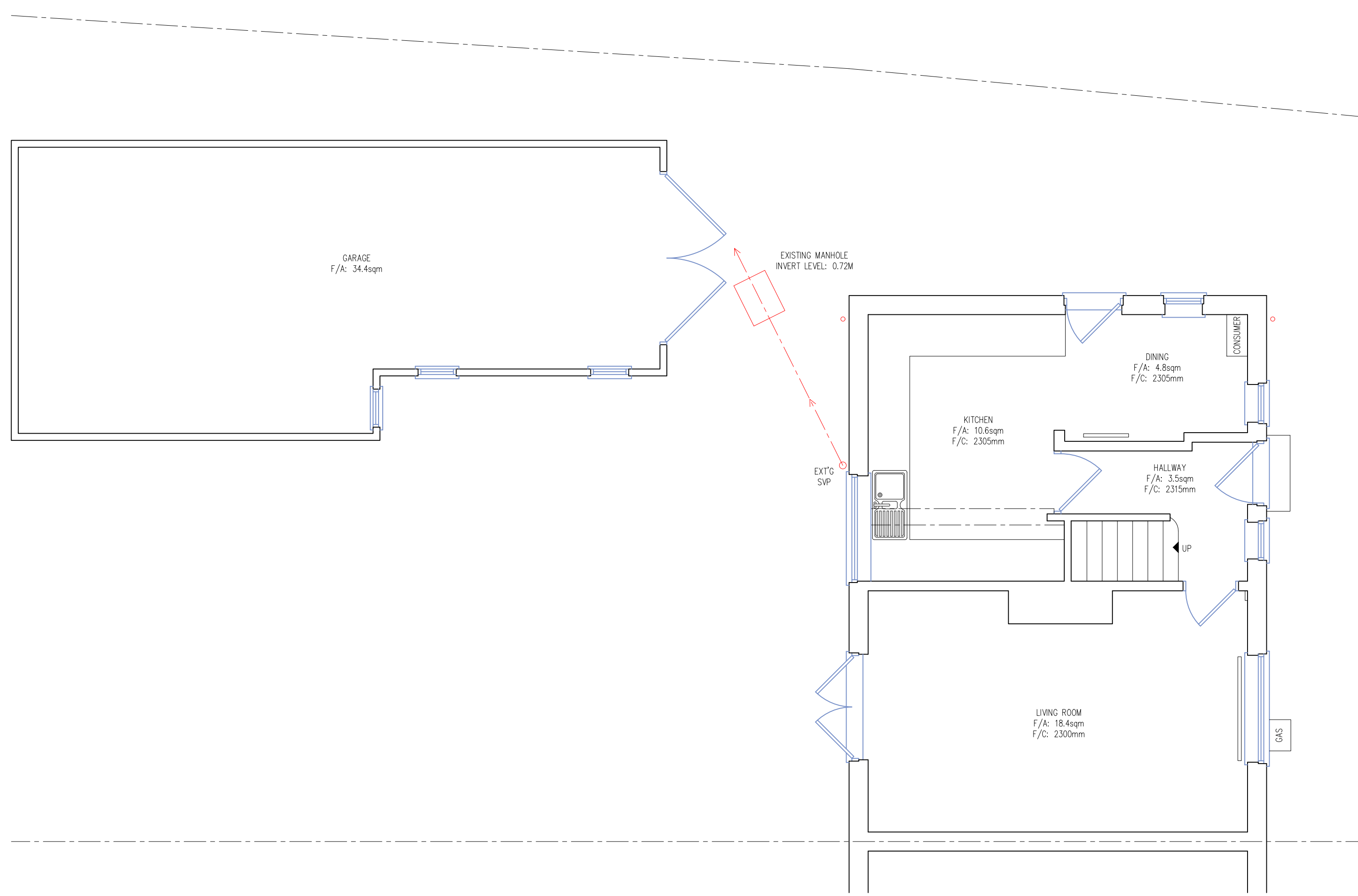
Transforming old spaces into beautiful new places



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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

# EXISTING GROUND FLOOR PLAN

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

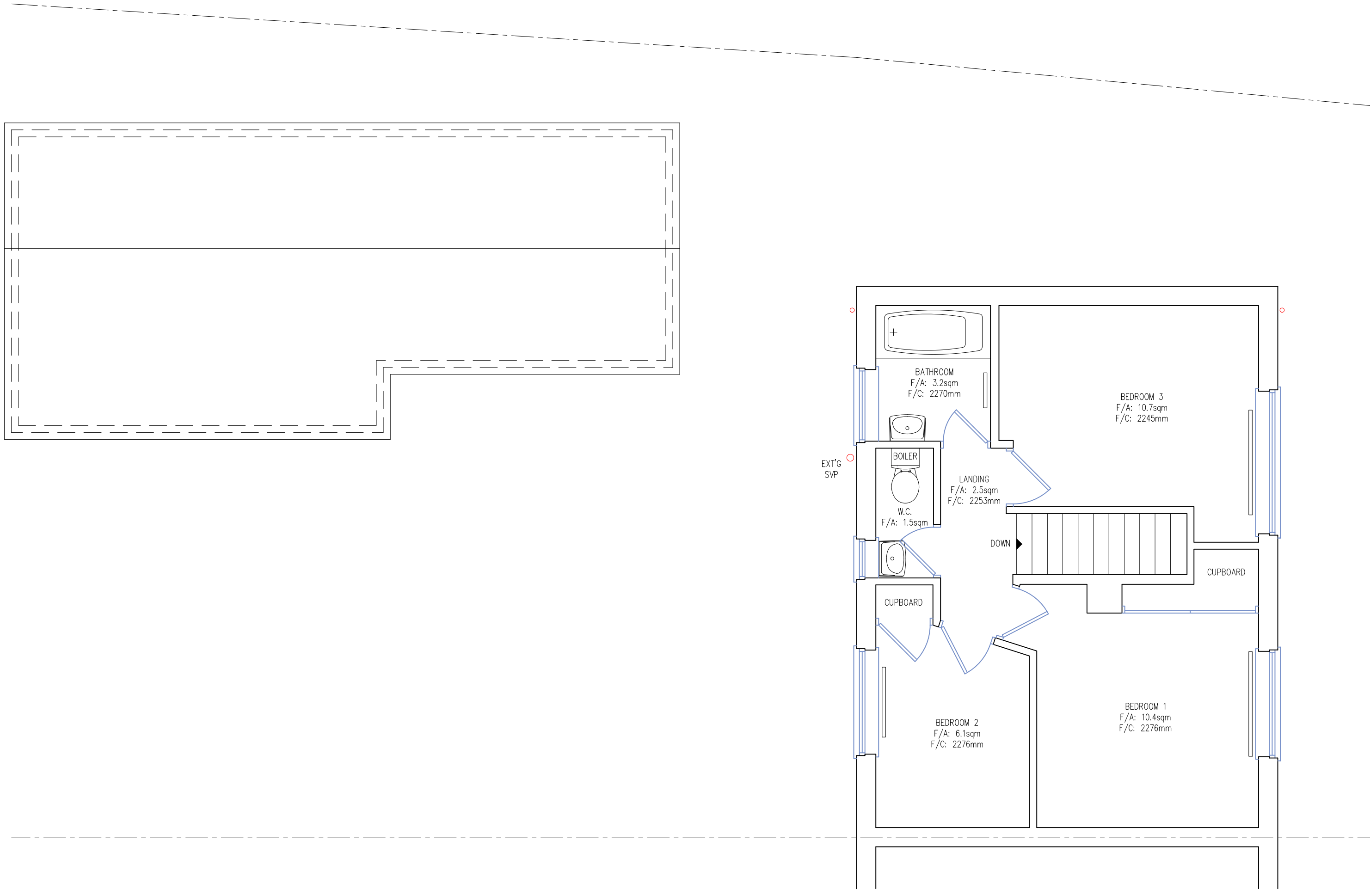
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NOTES:  
1. CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS.  
2. ANY DISCREPANCIES OR UNCERTAINTIES MUST BE NOTIFIED TO THE PRINCIPAL DESIGNER.  
3. BOUNDARIES HAVE BEEN ASSUMED ON SITE. CLARIFICATION AND CONFIRMATION OF BOUNDARY MUST BE TAKEN UP WITH A LEGAL PARTY.  
4. ALL DRAWINGS ARE TO BE PLAN-CHECKED BY THE LOCAL AUTHORITY, OR AN ALLOCATED INDEPENDENT BUILDING CONTROL SURVEYOR AND APPROVED.  
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7. NON-SPECIFIED MATERIALS MUST BE CONSULTED AND APPROVED BY ALL RELEVANT PARTIES PRIOR TO INSTALLATION.

0 1 2 3 4 5  
SCALE 1:50

# EXISTING GROUND FLOOR PLAN

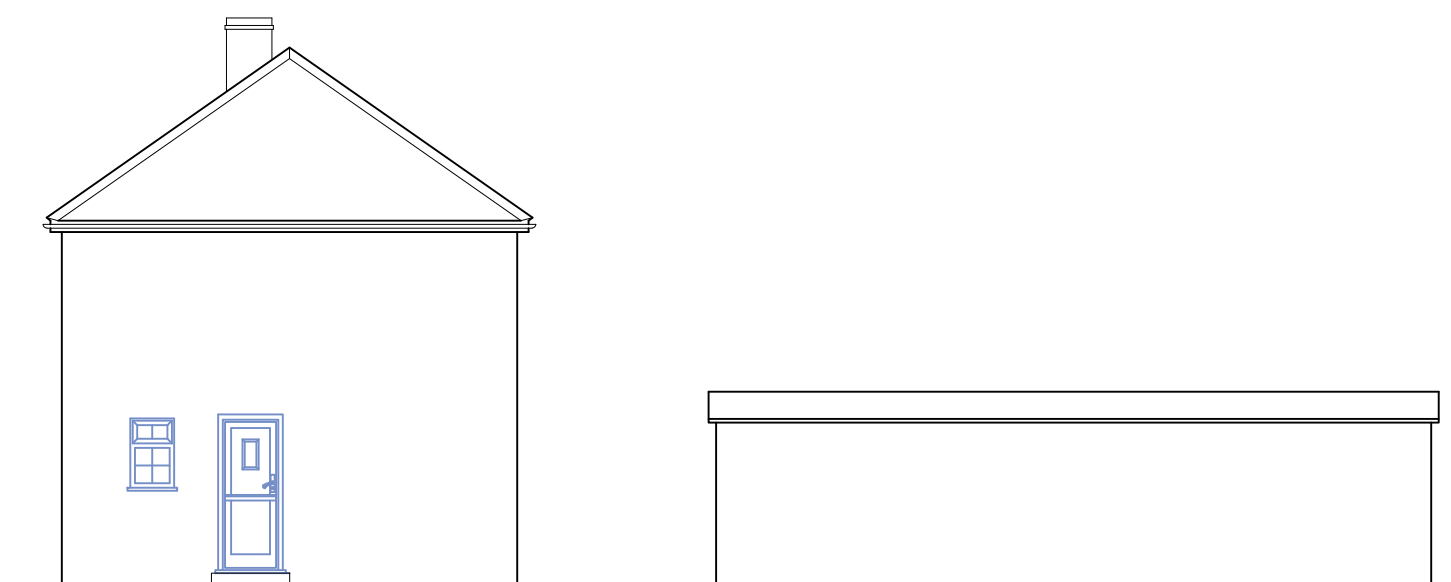


NOTES:

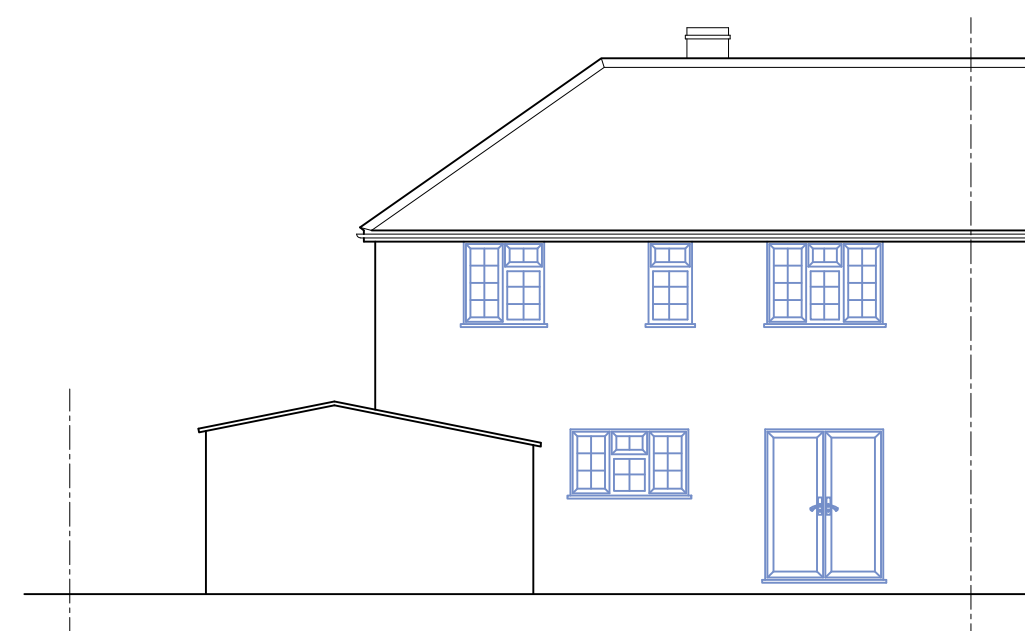
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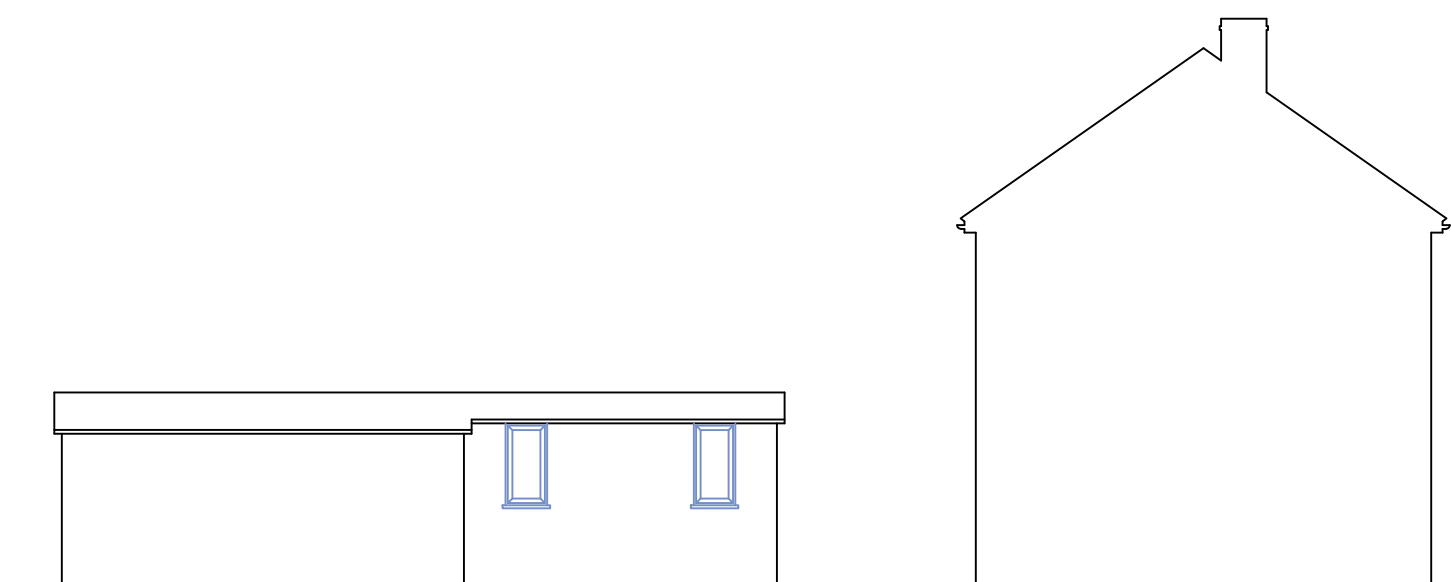
EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## EXISTING ELEVATIONS

1:100 @ A2  
APRIL 2020  
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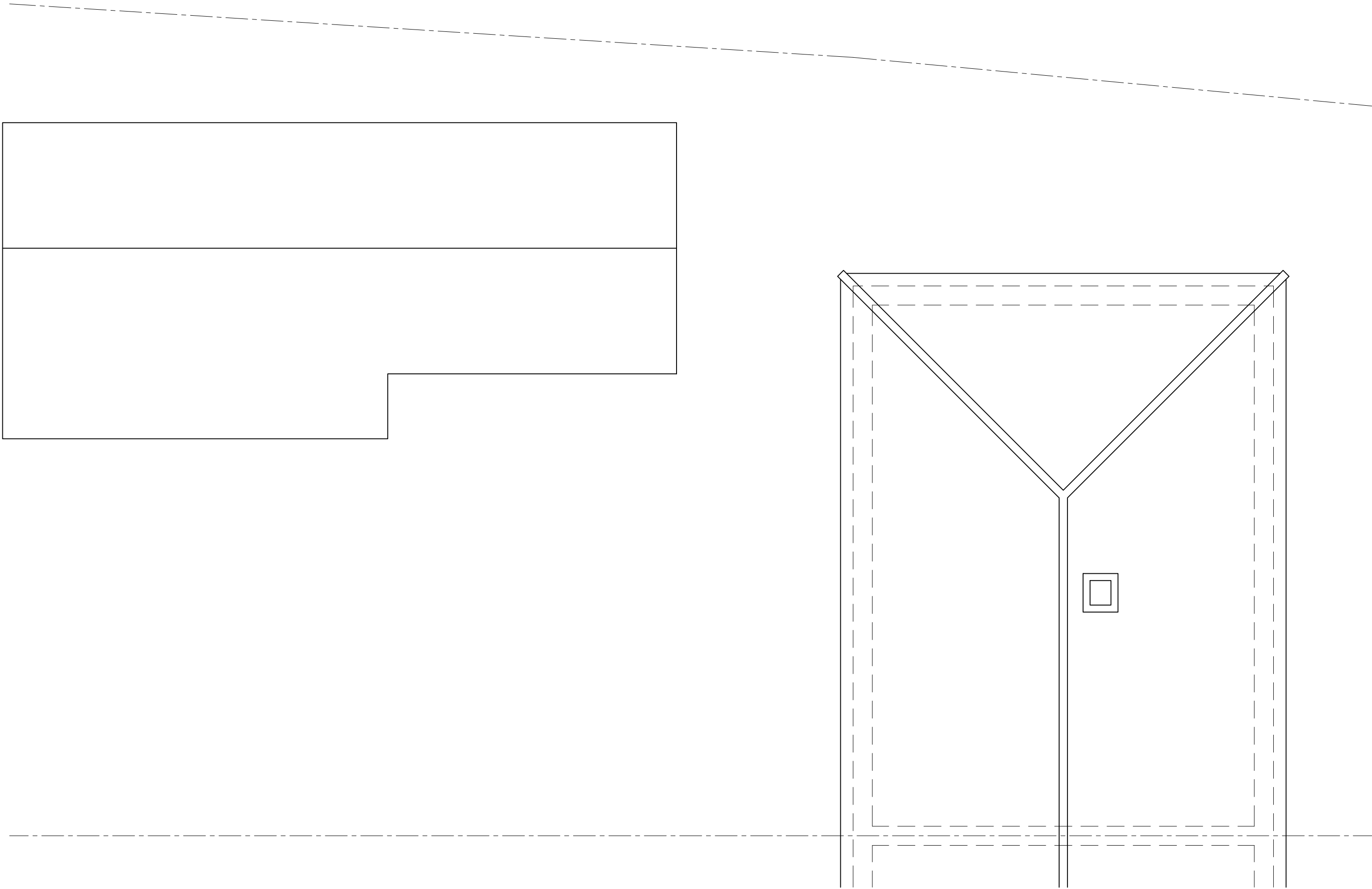


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0 1 2 3 4 5 6 7 8 9 10  
SCALE 1:100



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

EXISTING  
ROOF PLAN

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

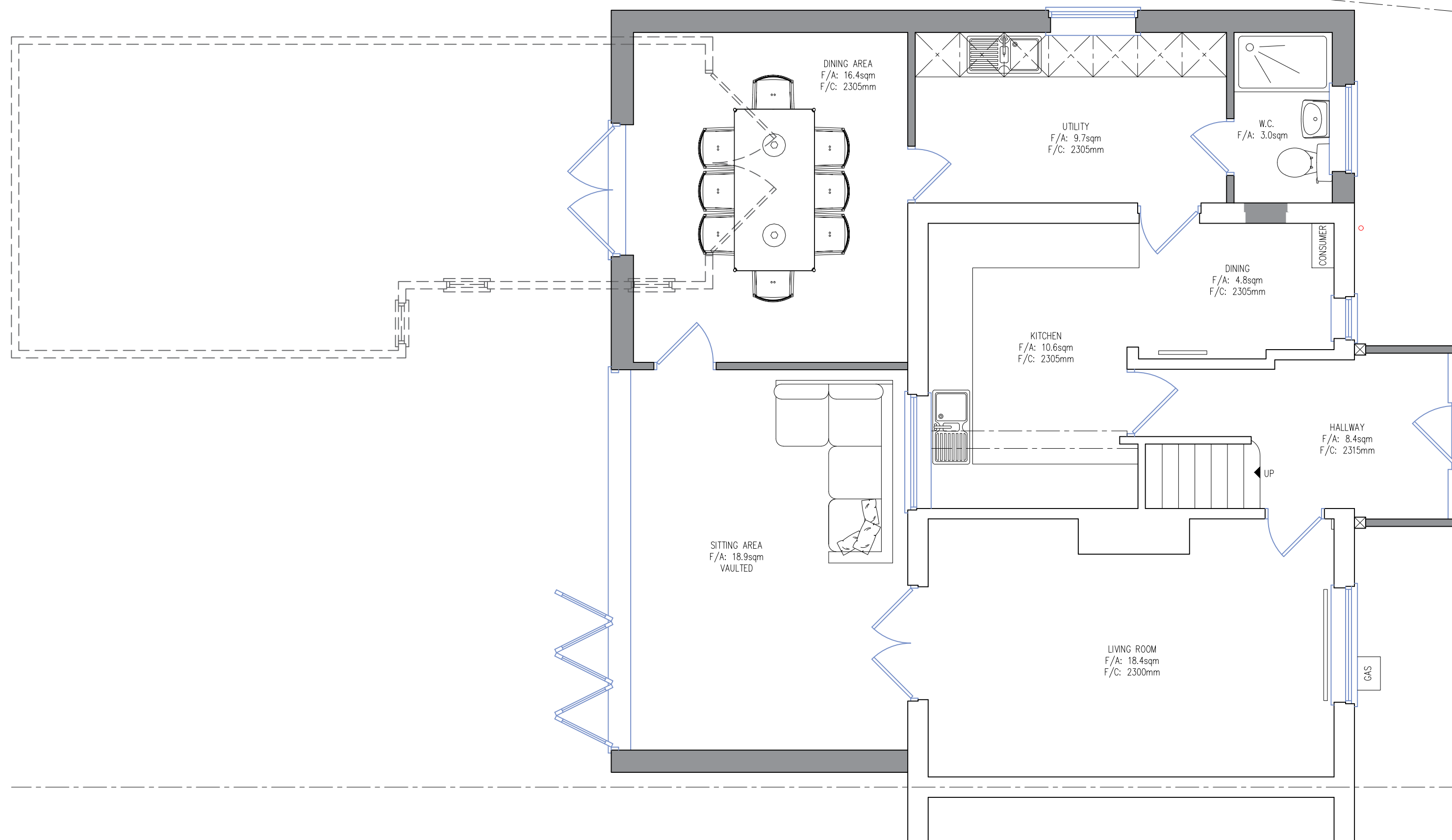
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0 1 2 3 4 5  
SCALE 1:50



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## PROPOSED GROUND FLOOR PLAN (GENERAL)

1:50 @ A2  
APRIL 2020  
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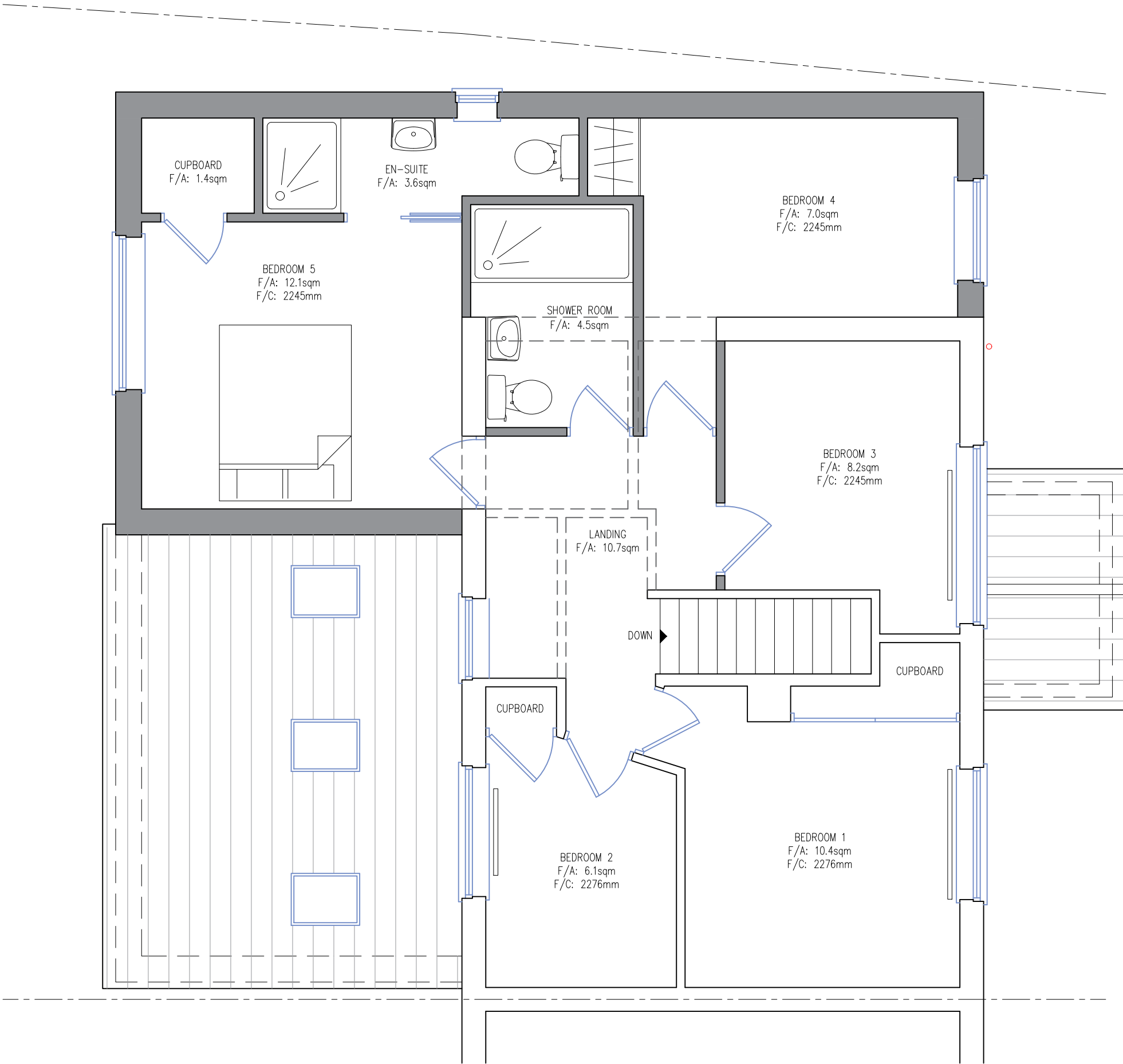


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0 1 2 3 4 5  
SCALE 1:50



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## PROPOSED FIRST FLOOR PLAN (GENERAL)

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

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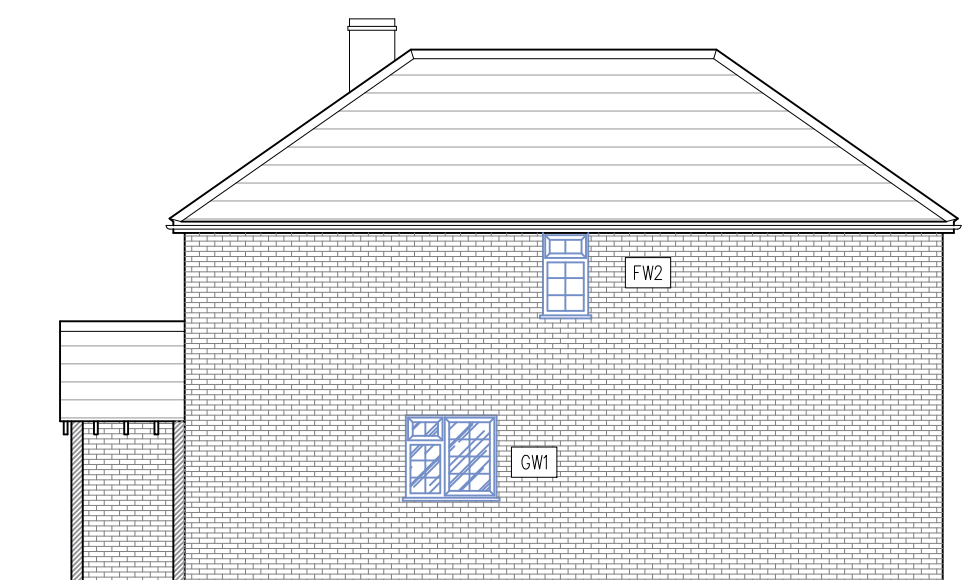
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SCALE 1:50





PROPOSED FRONT ELEVATION



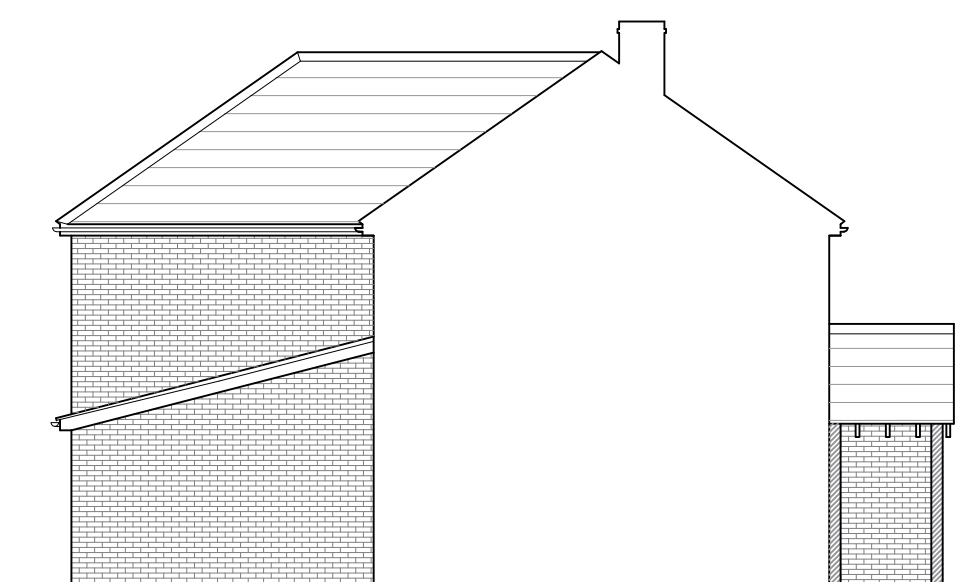
PROPOSED SIDE ELEVATION

PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## PROPOSED ELEVATIONS



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

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0 1 2 3 4 5 6 7 8 9 10  
SCALE 1:100

1:100 @ A2  
APRIL 2020  
HAYDEN COOPER

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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

PROPOSED ROOF  
FLOOR PLAN

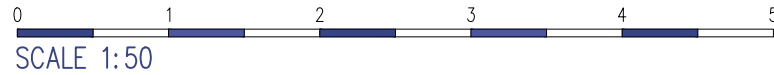
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HAYDEN COOPER

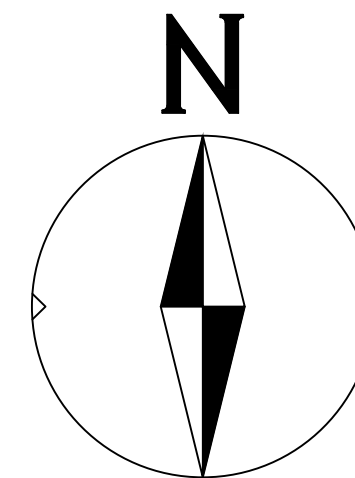
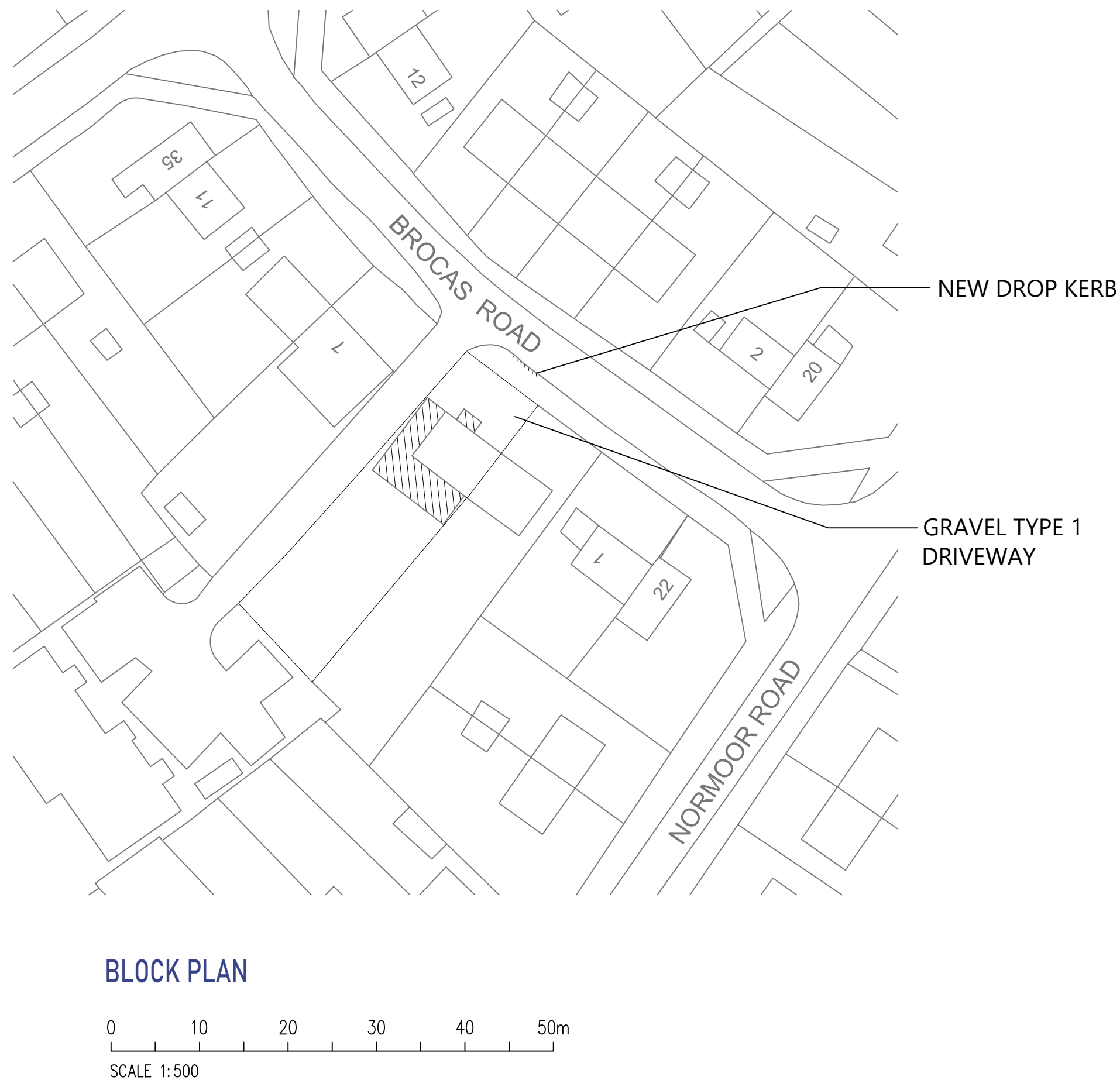
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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## LOCATION AND BLOCK PLAN



1:1250 &  
1:500 @ A2  
APRIL 2020  
HAYDEN COOPER

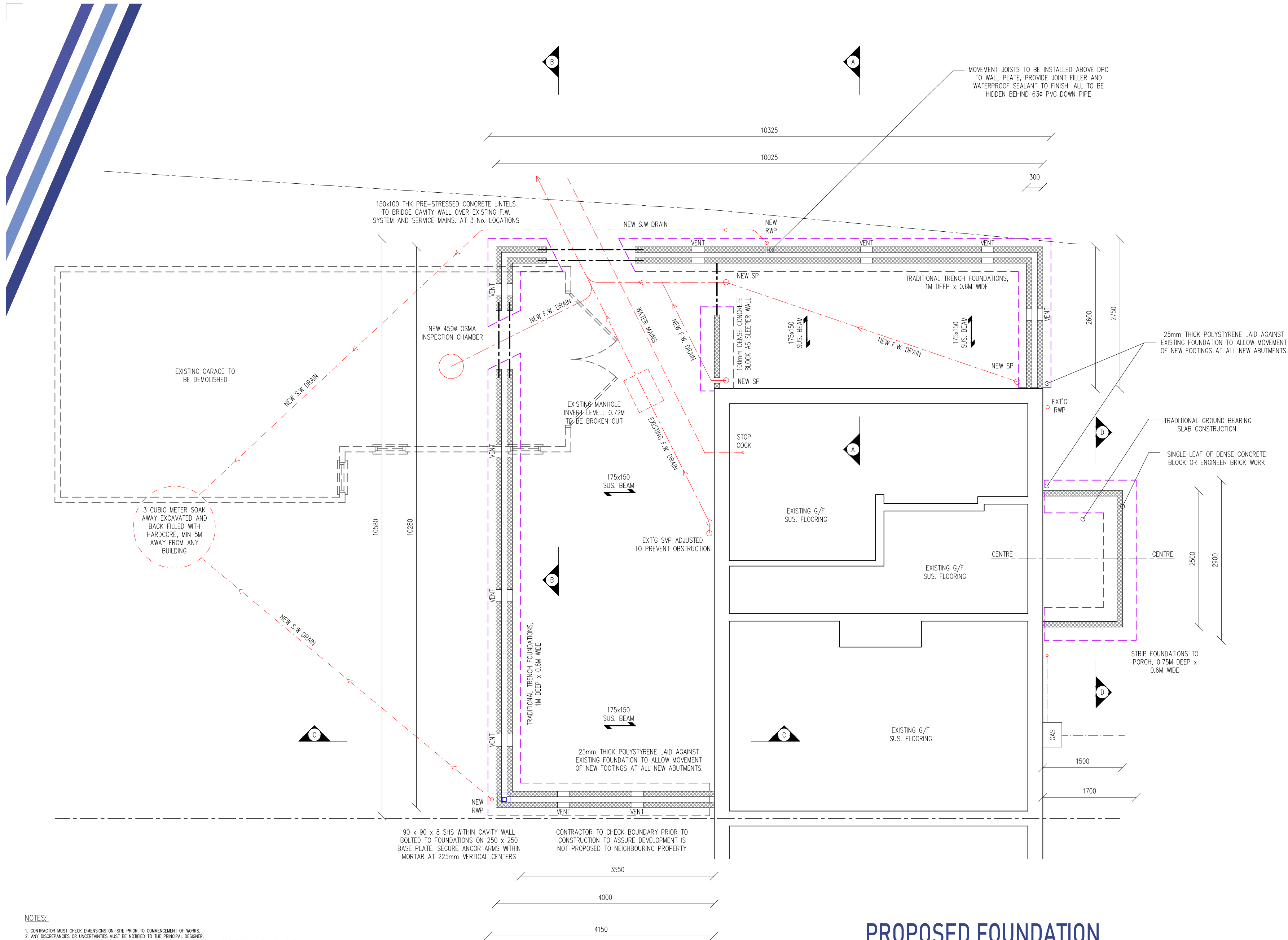
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DESIGNS

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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

PROPOSED  
FOUNDATION  
AND DRAINAGE  
PLAN

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

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0 1 2 3 4 5  
SCALE 1:50

PROPOSED FOUNDATION  
AND DRAINAGE PLAN





## PROPOSED GROUND FLOOR PLAN (ARCH)

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

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DESIGNS

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## PROPOSED GROUND FLOOR PLAN (ARCH)



## PROPOSED GROUND FLOOR PLAN (STRUC)

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0 1 2 3 4 5  
SCALE 1:50

## PROPOSED GROUND FLOOR PLAN (STRUC)

ARMORED CABLE FROM HOST DWELLING  
TO SUPPLY ELECTRICAL SERVICES TO  
NEW OUTBUILDING AND GATE, TO BE  
DESIGN AND INSTALLED BY A PART P  
REGISTERED SPECIALIST

LEGEND

LIGHT SWITCH (DIMMER TO BE CONFIRMED)

LED RECESSED SPOTLIGHTS MATRIX TO BE AGREED  
AGREED WITH CLIENT (DIMMER TO BE CONFIRMED)

LOW LEVEL SOCKET

HIGH LEVEL SOCKET

SWITCHED SINGLE 13amp SOCKET

WALL MOUNTED HIGH LEVEL LED LIGHT

EXTERNAL WALL MOUNTED LIGHT FITTING

EXTERNAL ELECTRIC DOUBLE SOCKET

CEILING MOUNTED LED LIGHT

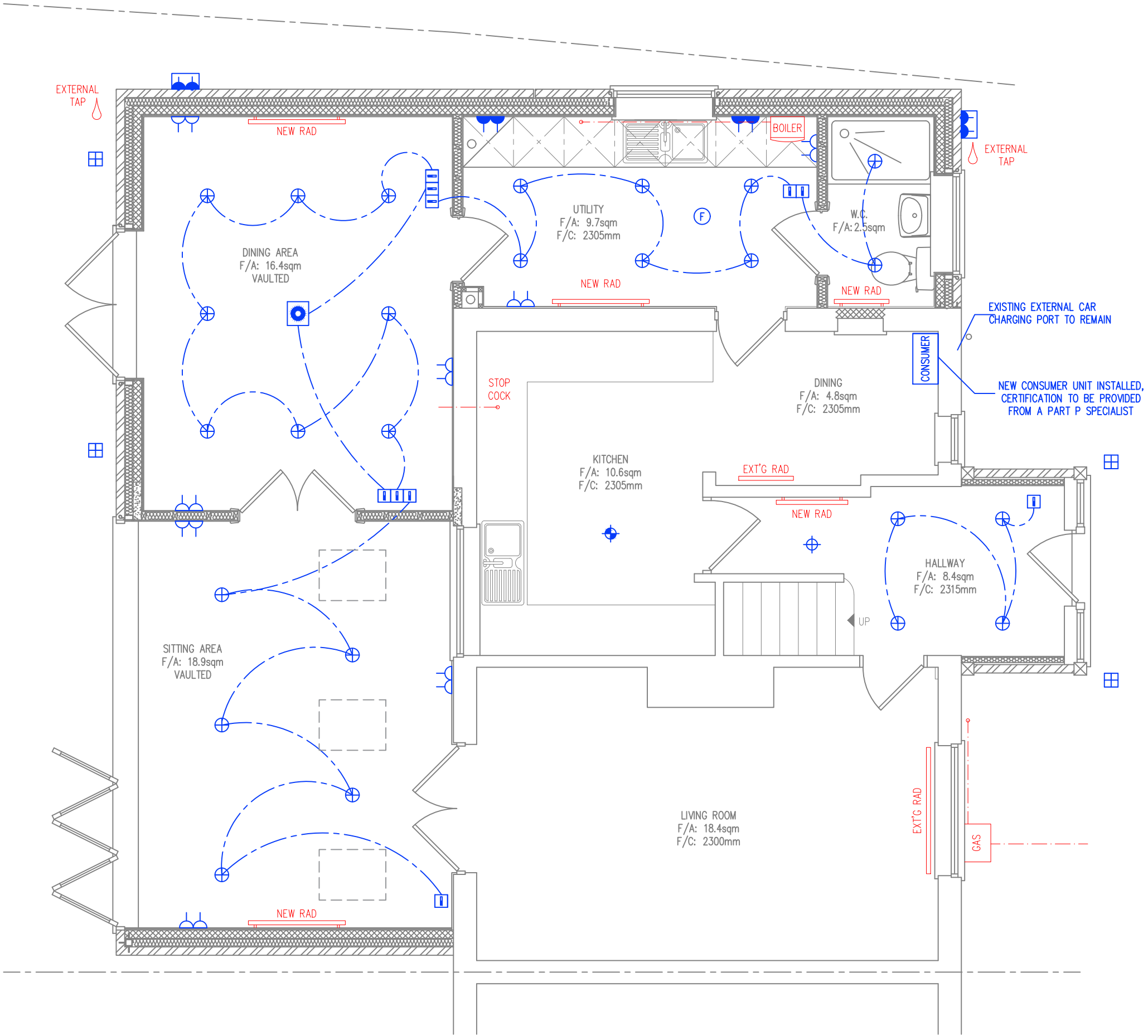
CEILING MOUNTED PENDANT

FAN

SMOKE

HEAT

\* ALL ELECTRICAL DESIGN IS PROVISIONAL SUBJECT  
TO CLIENTS CONFIRMATION. ADDITIONAL INPUT TO  
BE CONSULTED BETWEEN CLIENT AND CONTRACTOR.



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

PROPOSED GROUND  
FLOOR PLAN (M&E)

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

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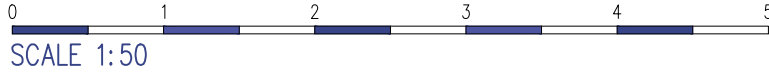


HAC  
DESIGNS

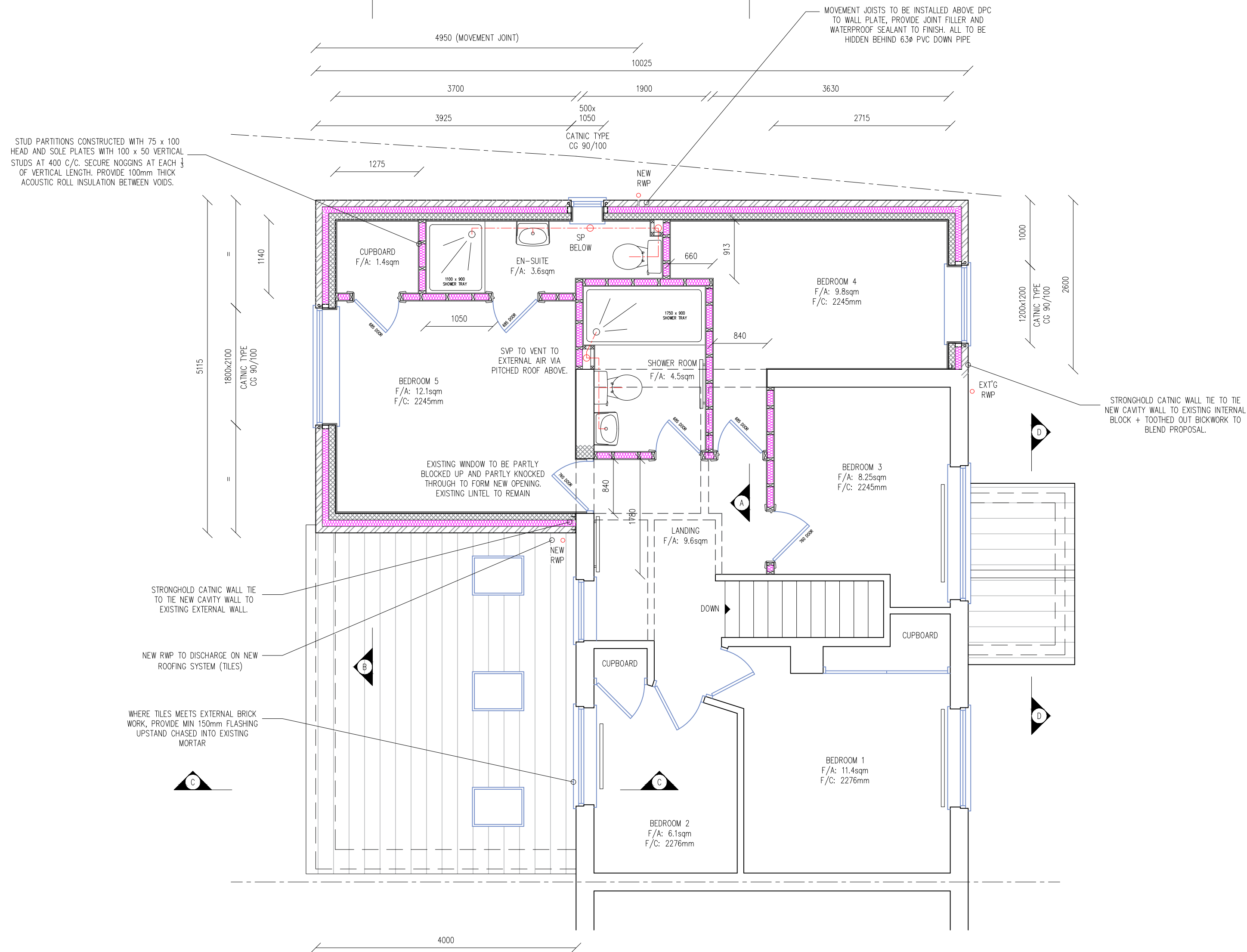
PROPOSED GROUND FLOOR PLAN (M&E)

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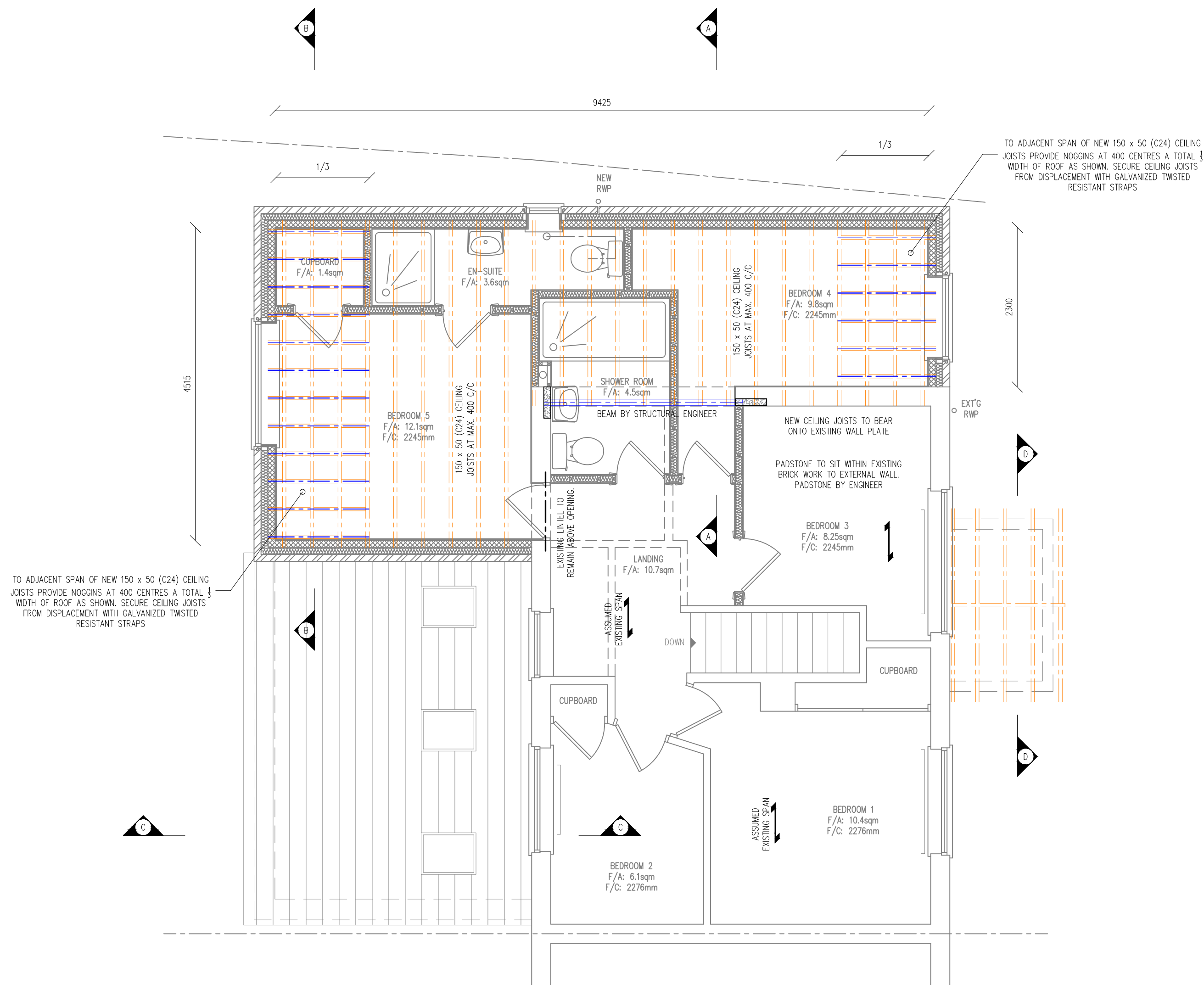
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0 1 2 3 4 5  
 SCALE 1:50

## PROPOSED FIRST FLOOR PLAN (ARCH)





PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## PROPOSED FIRST FLOOR PLAN (STRUC)

1:50 @ A2  
APRIL 2020  
HAYDEN COOPER

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BASINGSTOKE ROAD  
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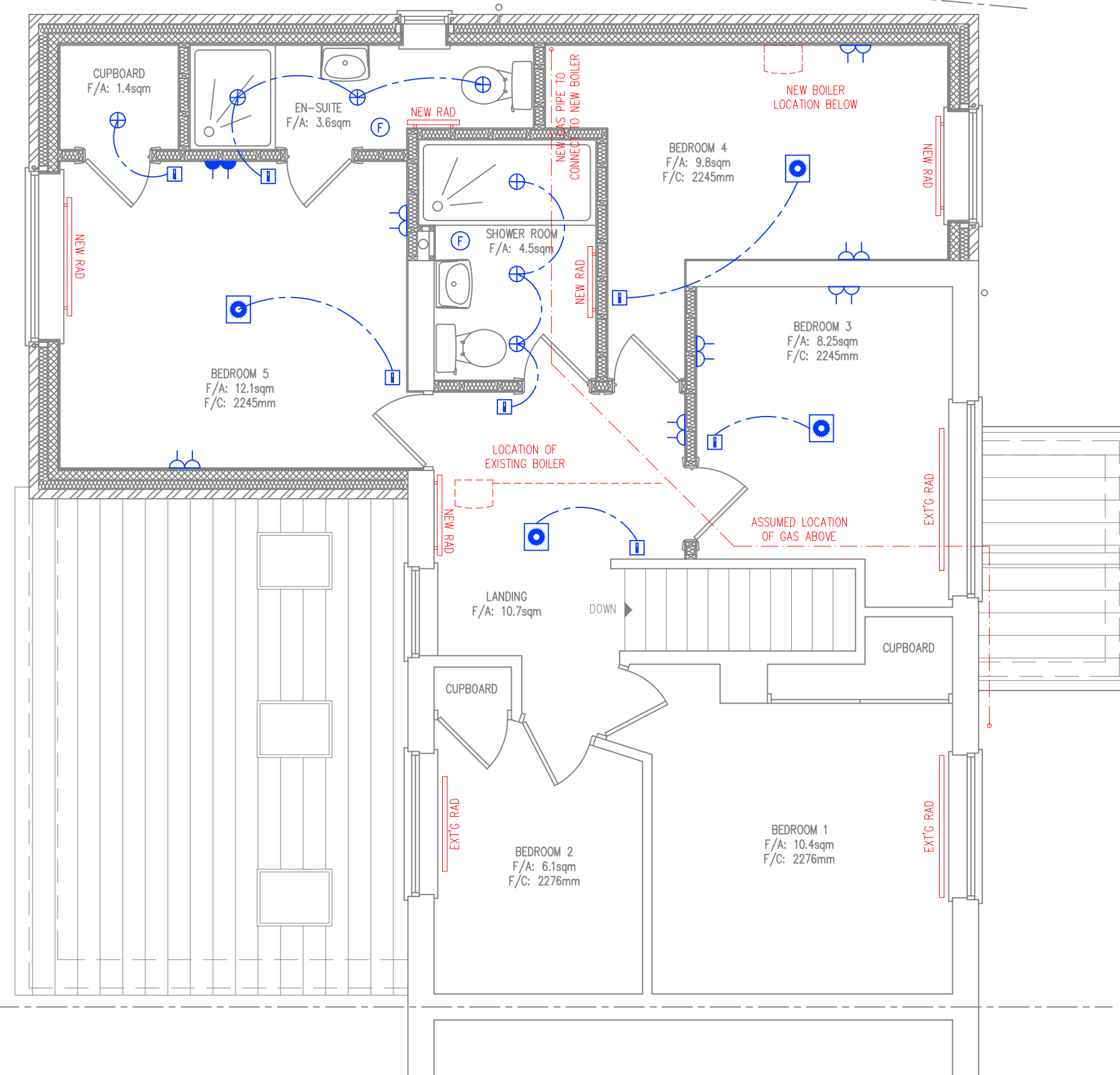
0 1 2 3 4 5  
SCALE 1:50

## PROPOSED FIRST FLOOR PLAN (STRUC)

## LEGEND

-  LIGHT SWITCH (DIMMER TO BE CONFIRMED)
-  LED RECESSED SPOTLIGHTS MATRIX TO BE AGREED  
AGREED WITH CLIENT (DIMMER TO BE CONFIRMED)
-  LOW LEVEL SOCKET
-  HIGH LEVEL SOCKET
-  SWITCHED SINGLE 13amp SOCKET
-  WALL MOUNTED HIGH LEVEL LED LIGHT
-  EXTERNAL WALL MOUNTED LIGHT FITTING
-  EXTERNAL ELECTRIC DOUBLE SOCKET
-  CEILING MOUNTED LED LIGHT
-  CEILING MOUNTED PENDANT
-  FAN
-  SMOKE
-  HEAT

\* ALL ELECTRICAL DESIGN IS PROVISIONAL SUBJECT  
TO CLIENTS CONFIRMATION. ADDITIONAL INPUT TO  
BE CONSULTED BETWEEN CLIENT AND CONTRACTOR.



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## PROPOSED FIRST FLOOR PLAN (M&E)

1:50 @ A2  
APRIL 2020  
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SCALE 1:50

## PROPOSED FIRST FLOOR PLAN (M&E)



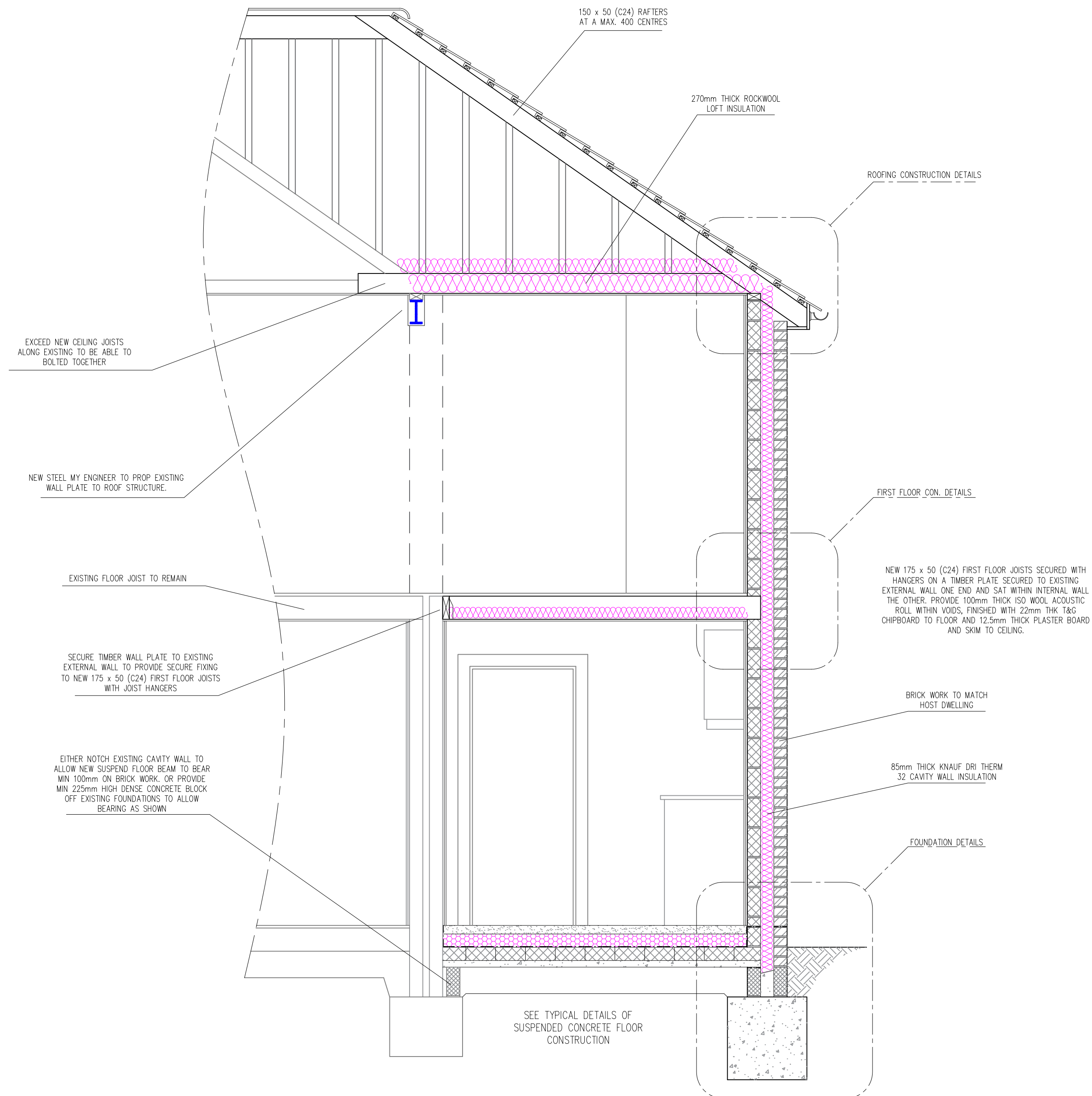
1:50 @ A2  
APRIL 2020  
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0 1 2 3 4 5  
SCALE 1:50

## PROPOSED ROOF PLAN (STRUC)



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## SECTION A - A

1:25 @ A2  
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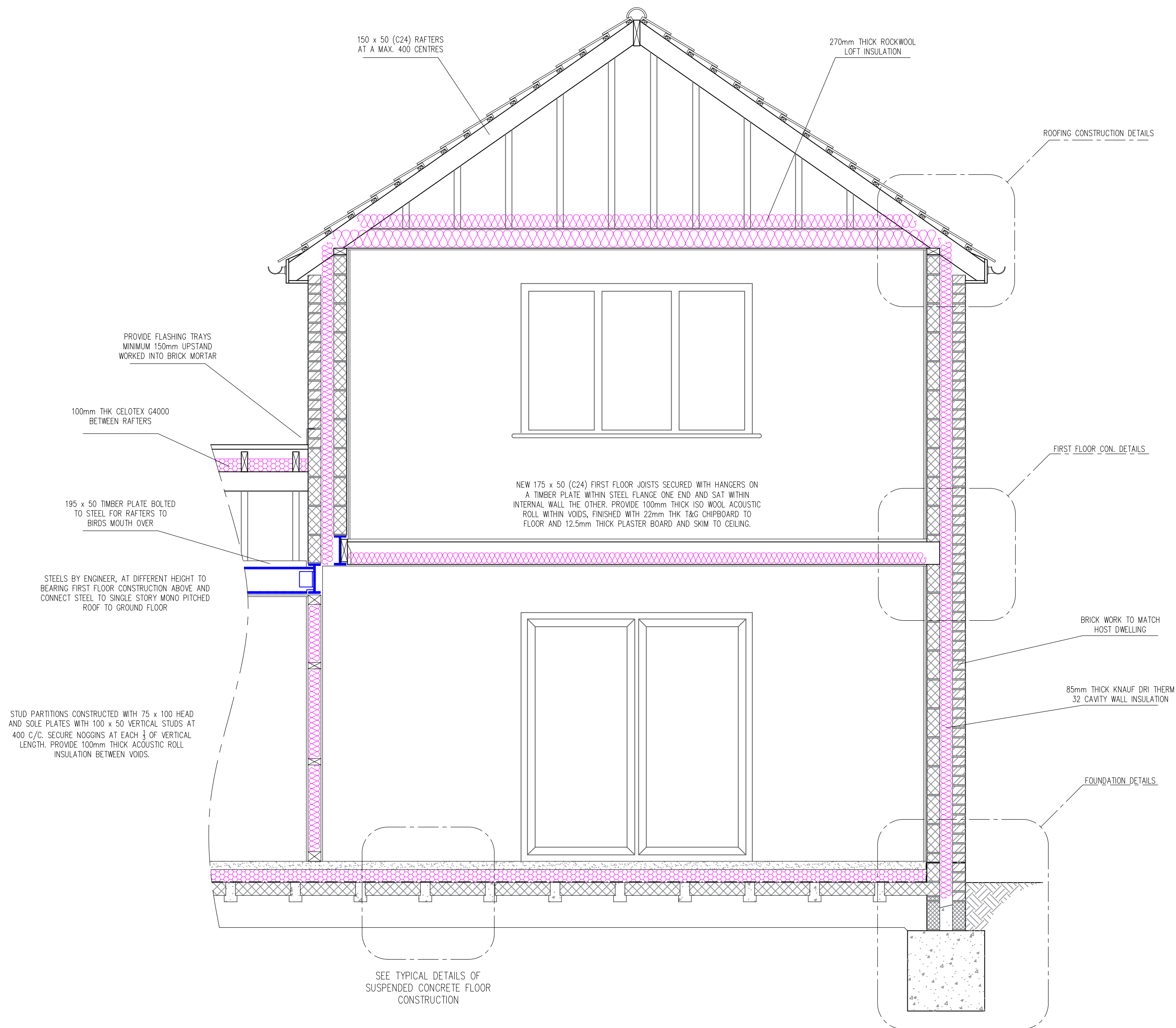
**HAC**  
DESIGNS

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SCALE 1:25





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SCALE 1:25

PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

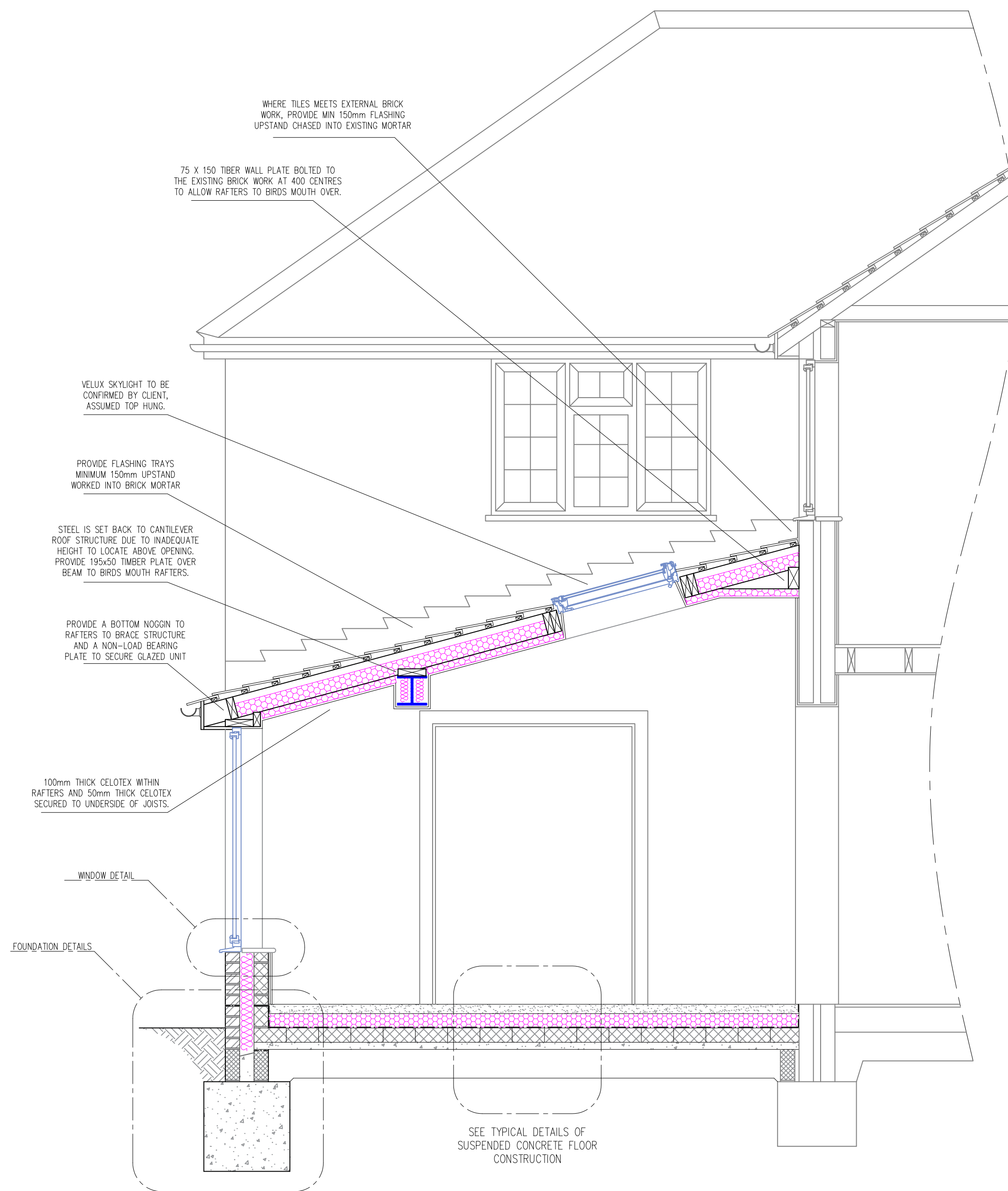
# SECTION B - B

1:25 @ A2  
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0 1 2 3 4 5  
SCALE 1:25

PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

# SECTION C - C

1:25 @ A2  
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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

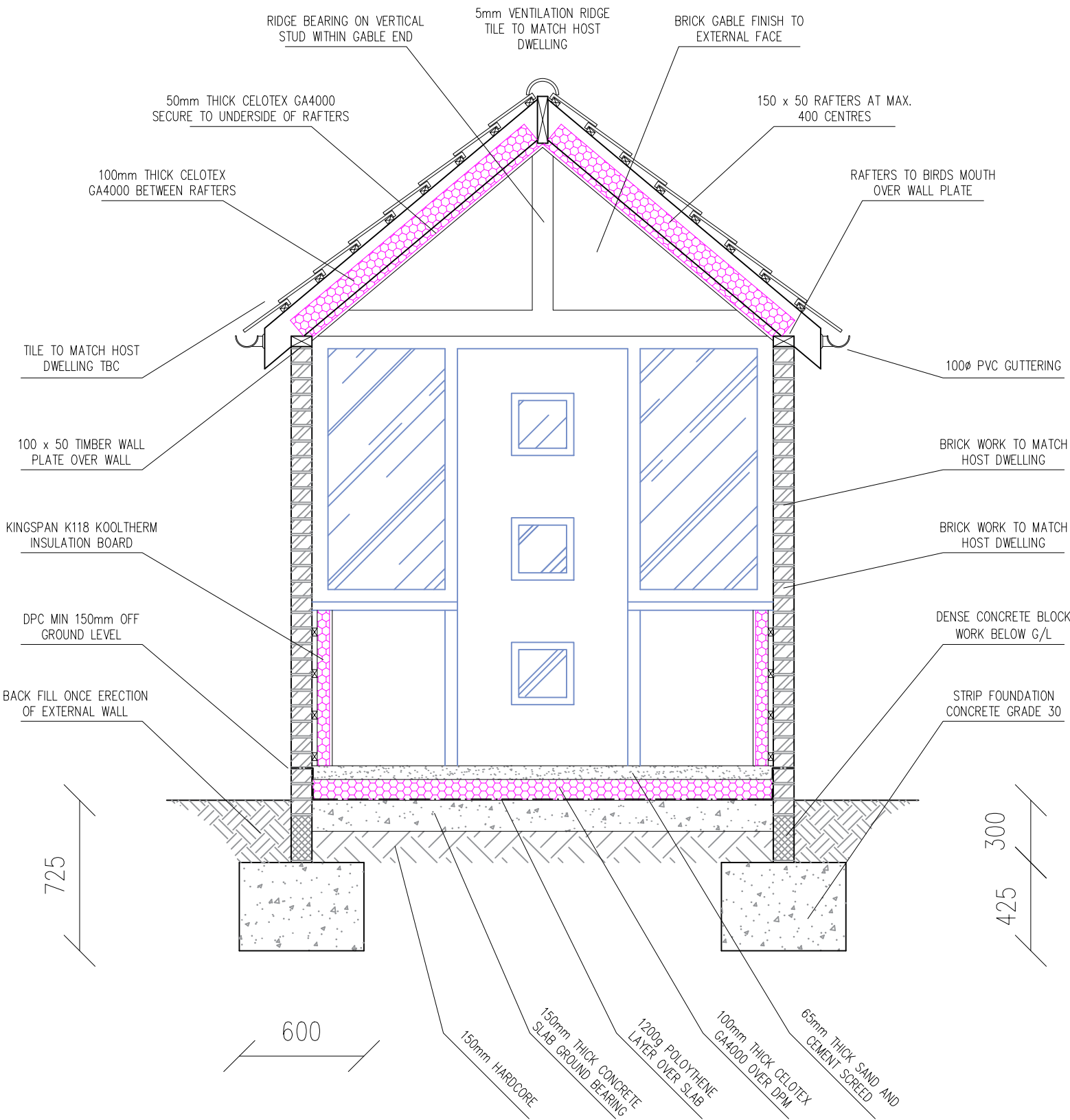
SECTION  
D - D

1:25 @ A2  
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NEW PORCH CONSTRUCTION: FRAME TO BE BUILT OF 150 x 150 SOLID OAK VERTICAL POSTS OFF SIMPSON TIMBER BASE PLATE AT EACH TIMBER. BETWEEN FRAME LAID BRICKWORK TO MATCH EXISTING WITH CATNIC STRONGHOLD TIES TO TIMBER FRAME WITH ARMS AT 255mm VERTICAL CENTERS. TO INTERNAL FACE, PROVIDE 72.5mm THK KINGSPAN K118 KOOLTHERM INSULATION BOARD ON 25mm BATTENS TO EXTERNAL BRICK. FINISH WITH SKIM TO PLASTER BOARD ON K118.

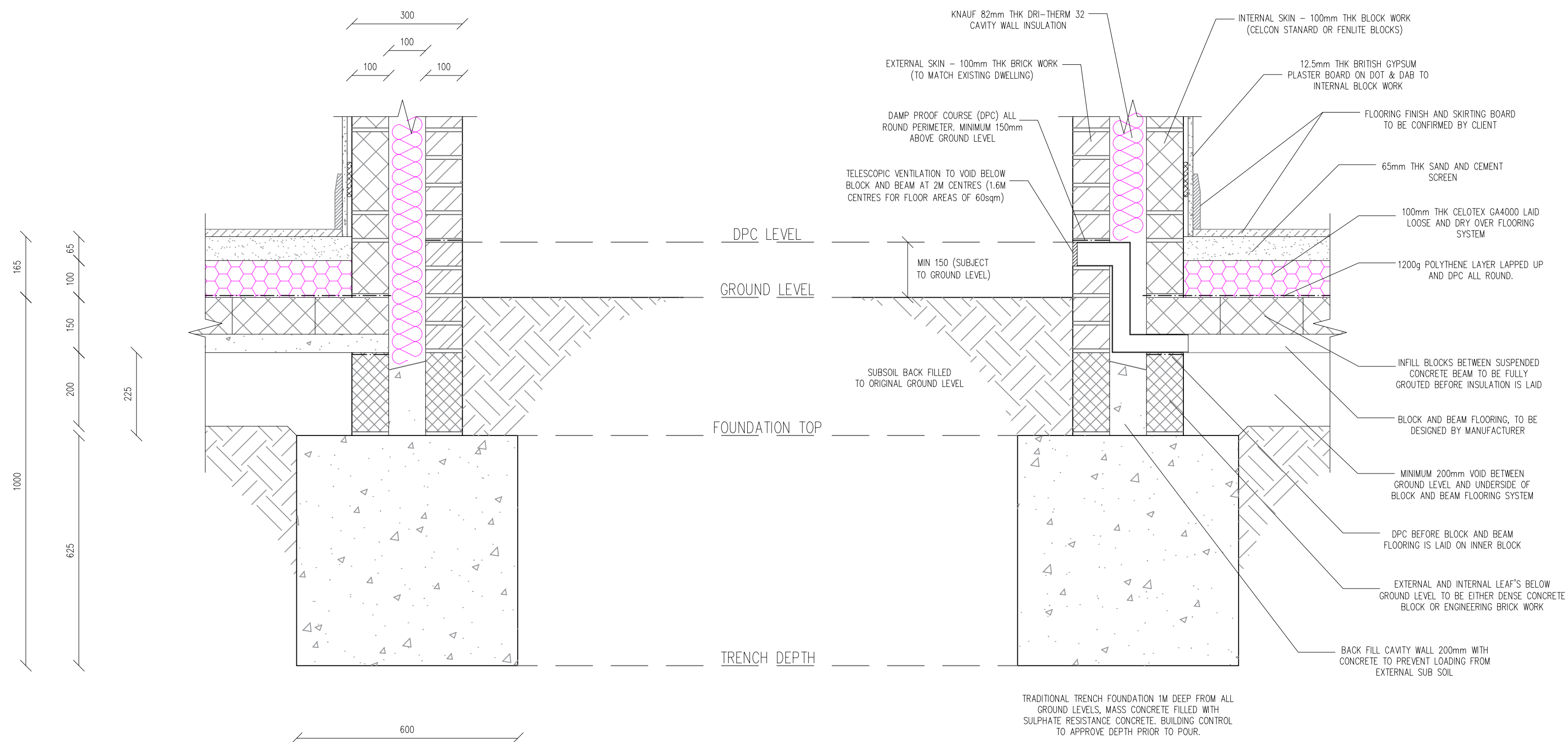


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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

## TYPICAL FOUNDATION DETAILS



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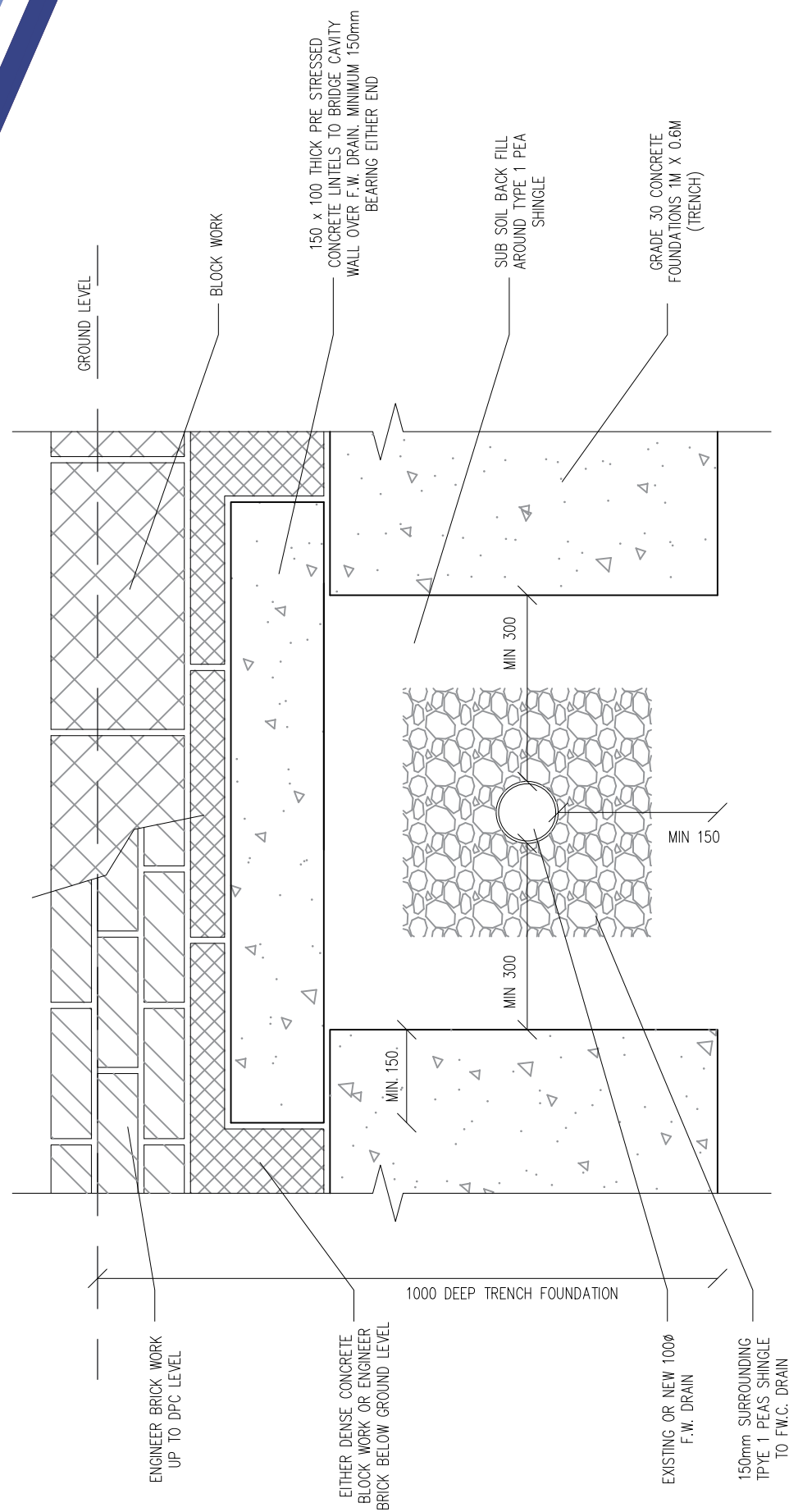
**HAC**  
DESIGNS

## TYPICAL FOUNDATION DETAILS SHOWING TELESCOPIC VENTS

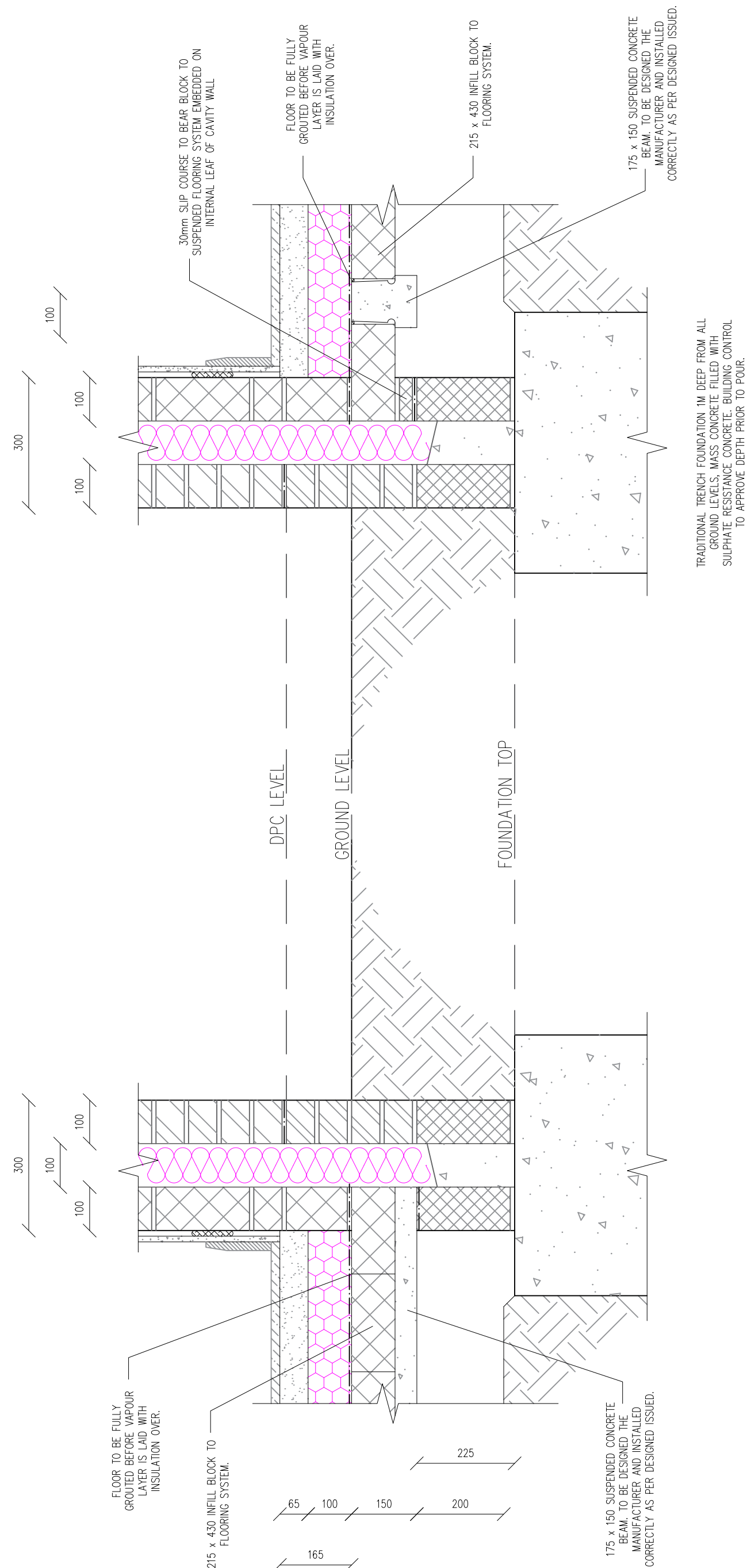
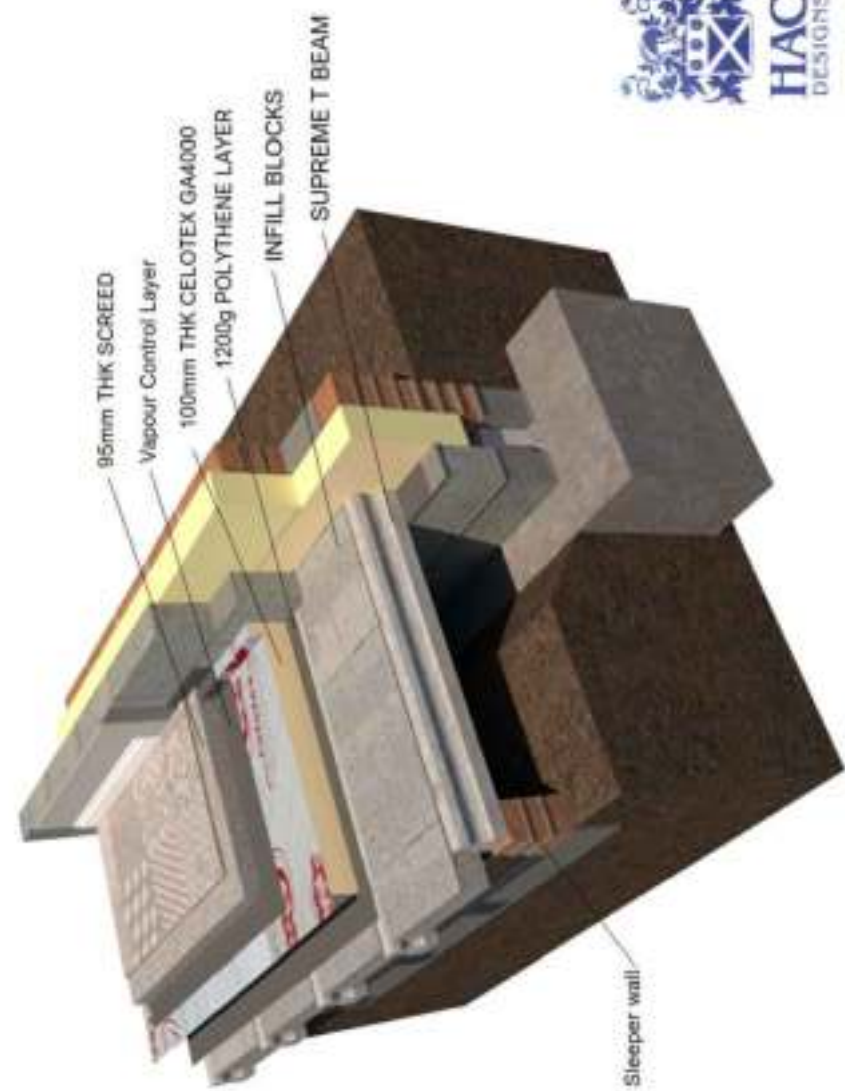
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TRADITIONAL TRENCH FOUNDATION 1M DEEP FROM ALL GROUND LEVELS, MASS CONCRETE FILLED WITH SULPHATE RESISTANCE CONCRETE. BUILDING CONTROL TO APPROVE DEPTH PRIOR TO POUR.

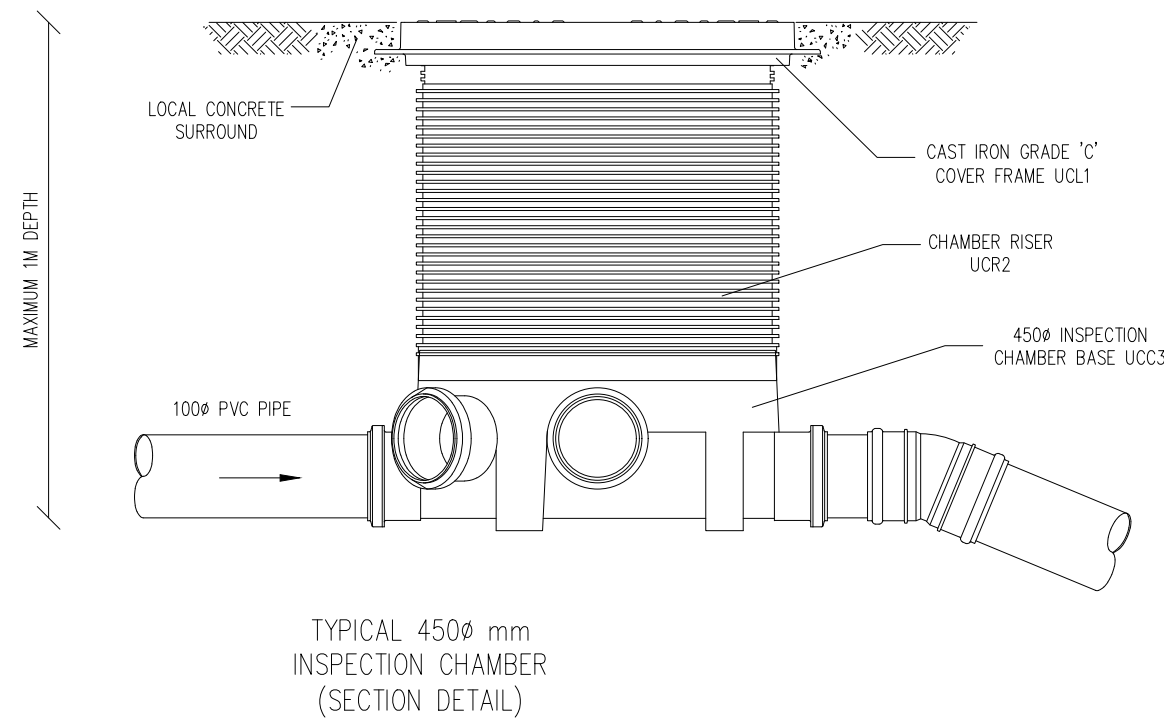
## TYPICAL BLOCK AND BEAM DETAILS + BRIDGING CAVITY WALL OVER AN F.W. DRAIN DETAIL

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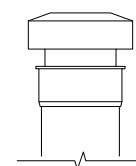


**HAC**  
DESIGNS

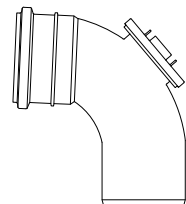




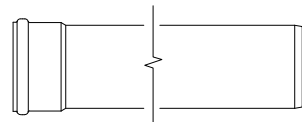
## TYPICAL F.W. DRAIN DETAILS (BELOW GROUND / PVC)



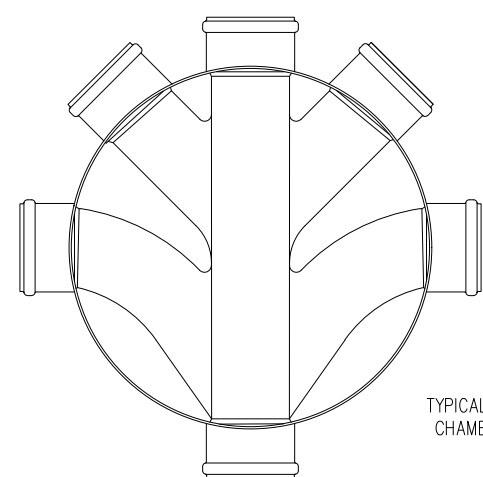
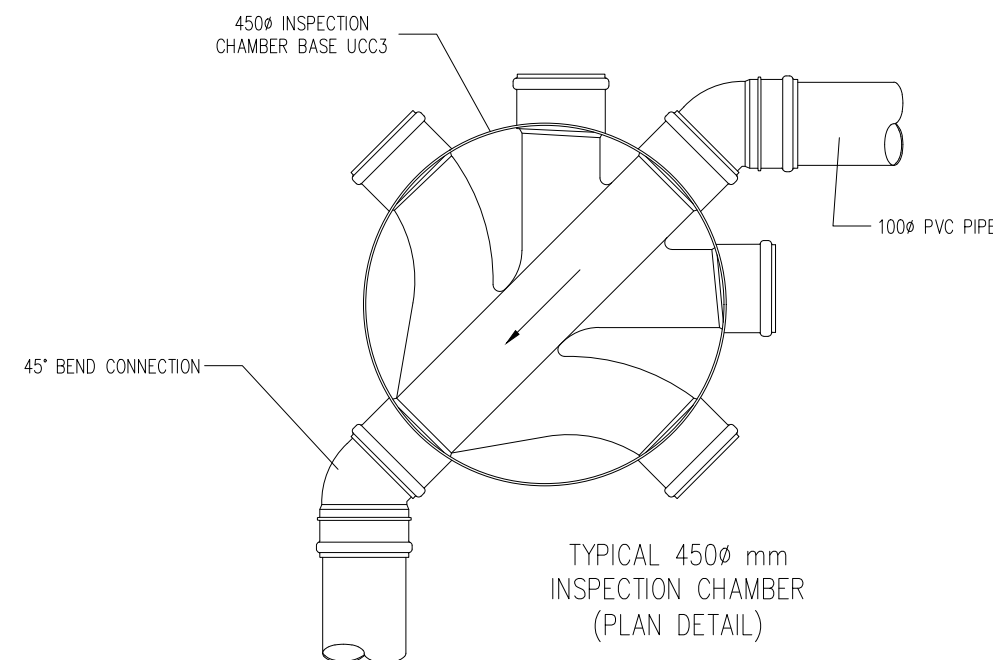
TYPICAL AIR ADMITTANCE VALVE TO 100mm PVC PIPE. USEABLE IF MINIMUM 1No. VENTILATION PIPE IS ACHIEVED



TYPICAL 100mm PVC PIPE WITH 90° BEND AND CORNER RODDING ACCESS

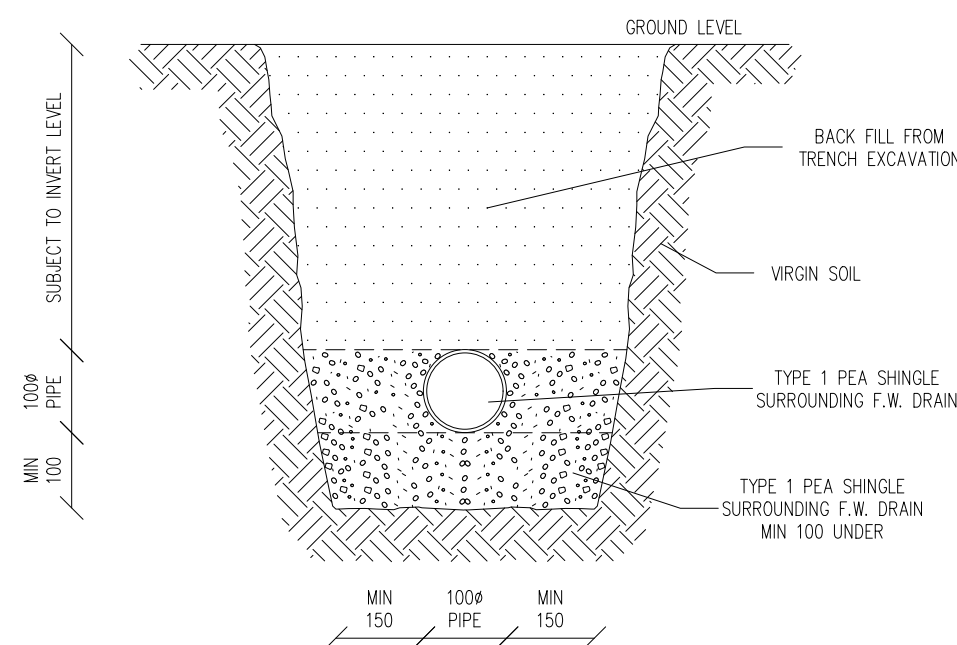


TYPICAL 100mm PVC STRAIGHT PIPE MAX. 3M LENGTHS



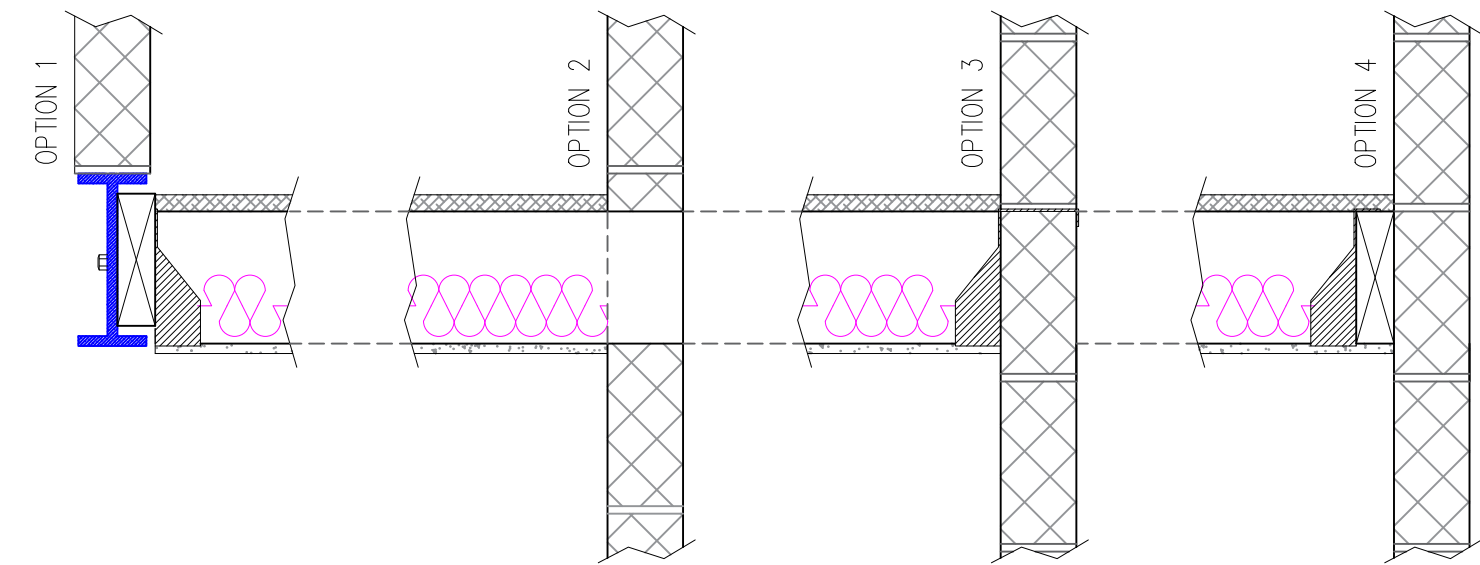
TYPICAL 450mm OSMA INSPECTION CHAMBER USED IN PROPOSAL. MAX. 1M DEPTH

### TYPICAL F.W. DRAIN BEDDING DETAIL



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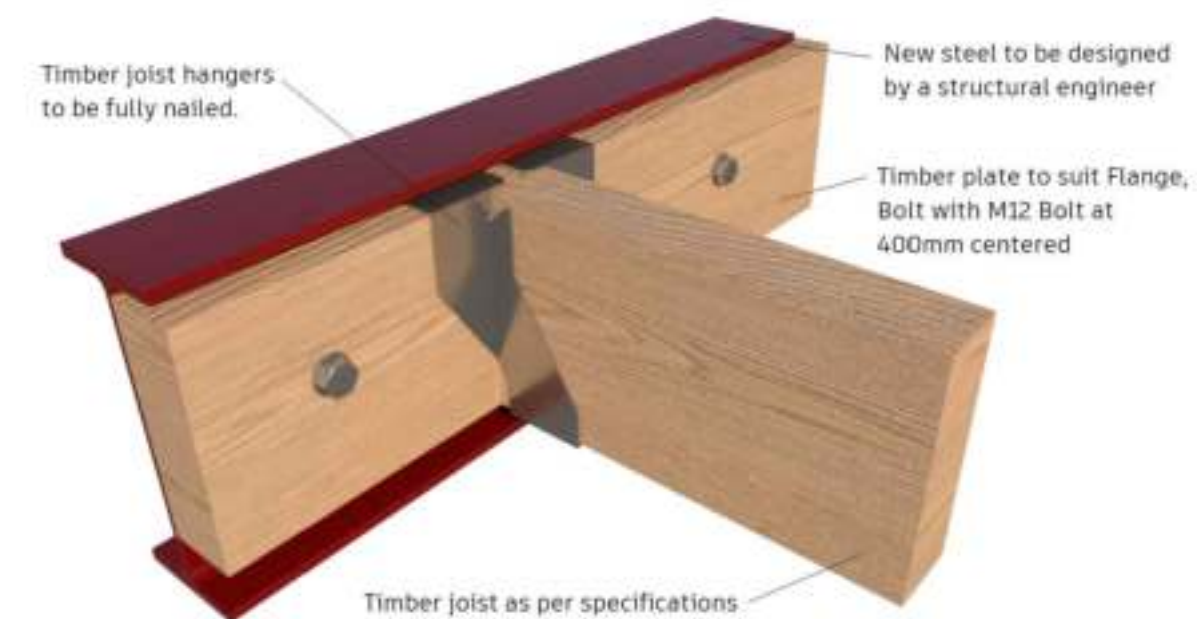
TIMBER PLATE WITHIN WEB OF STEEL BOLTED AT 400 CENTRES WITH JOISTS HANGERS TO NEAR FIRST FLOOR JOISTS

TIMBERS BEARING ON INTERNAL LEAF WITH INSULATION SLEEVES AT EACH JOISTS

MASONRY JOISTS HANGERS EMBEDDED INTO MORTAR AT EACH FIRST FLOOR JOISTS.

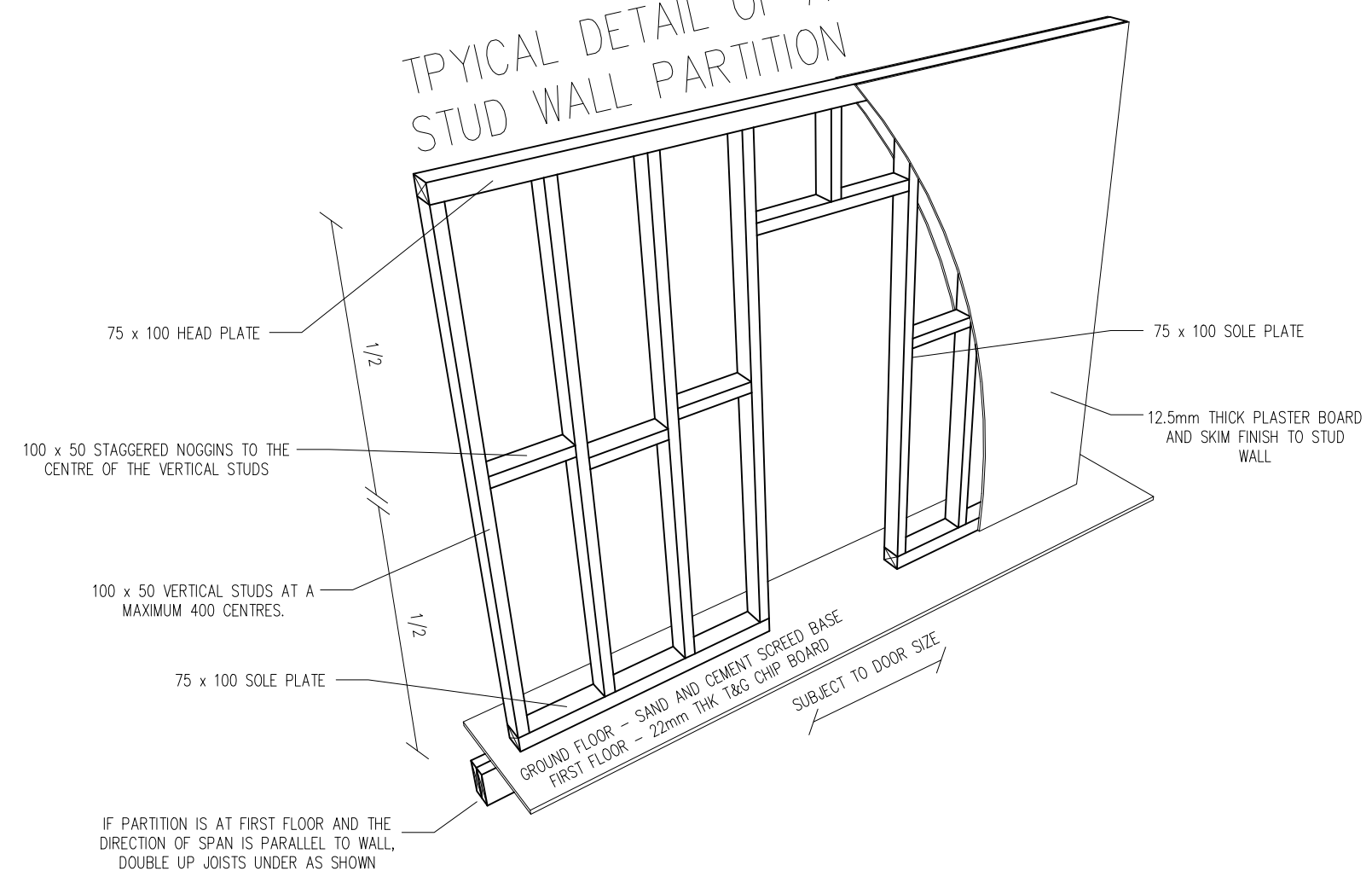
TIMBER WALL PLATE (AS SPECIFIED) BOLTED TO BLOCK WORK WITH M12 BOLTS AT 400 CENTERS, WITH TIMBER JOISTS HANGERS TO BEAR FIRST FLOOR JOISTS

## FIRST FLOOR CONSTRUCTION



PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

### TYPICAL DETAIL OF A STUD WALL PARTITION



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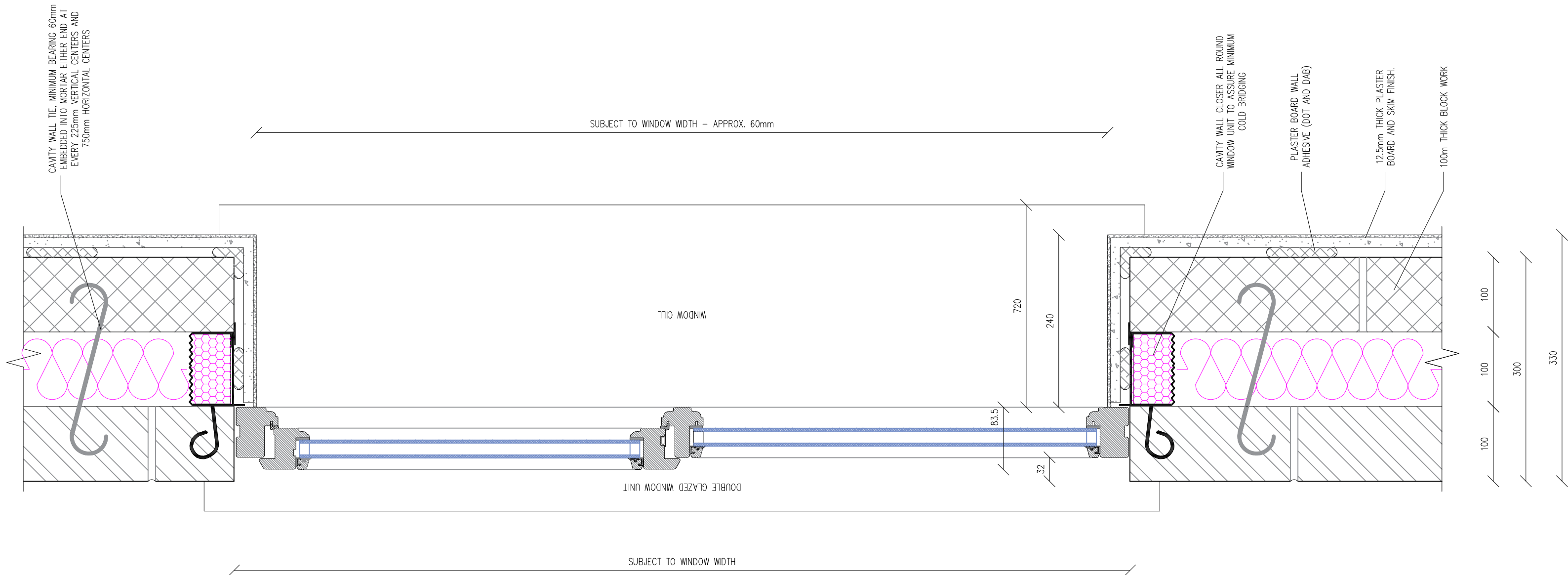
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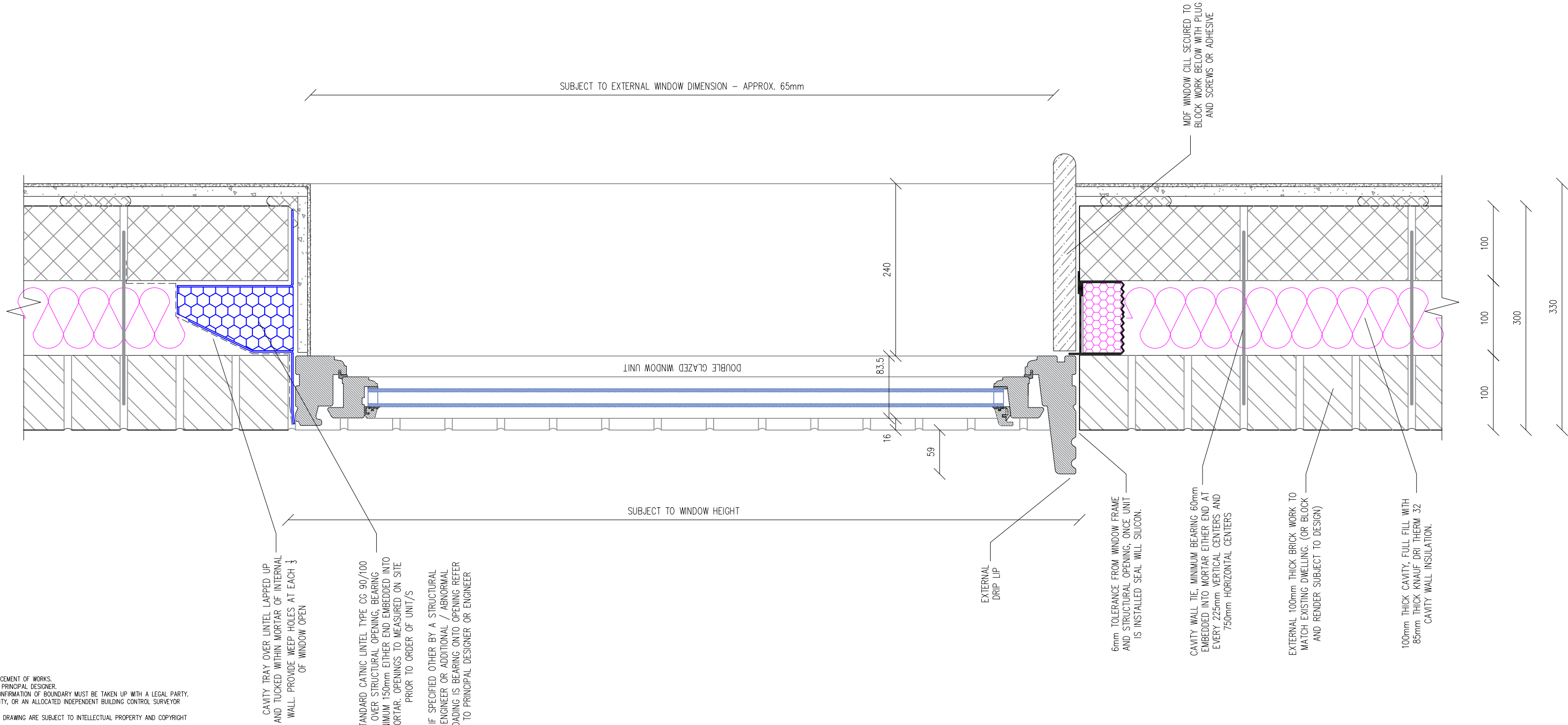
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PLAN DETAIL



SECTION DETAIL



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PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

TYPICAL WINDOW / DOOR  
SECTIONS

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**COLD DECK PITCH ROOF**

**SECTION THROUGH TIMBER AND ROOF CONSTRUCTION**

RAFTERS AS PER SPECIFICATION  
— 38 x 25 TREATED BATTENS AT CENTRES SUBJECT TO TILE TYPE  
TILES TO MATCH EXISTING DWELLING. (UNLESS SPECIFIED OTHER, WITH APPROVAL FROM LOCAL AUTHORITY)  
BREATHABLE MEMBRANE BENEATH BATTENS, LAPPED OVER 300mm AT EACH EXTENT  
BOLT CEILING JOISTS M12 BOLTS WITH TOOTHED CONNECTORS AT EACH RAFTER  
MINIMUM 270mm THICK ROCKWOOL LOFT INSULATION BETWEEN AND OVER CEILING JOISTS  
CEILING JOISTS AS PER SPECIFICATION OR ENGINEERS DESIGN  
12.5mm THICK PLASTER BOARD AND SKIM FINISH.  
100 x 50 TIMBER WALL PLATE SECURED TO INTERNAL BLOCK WORK WITH TM x 30mm x 5 THK TWIST RESISTANT STRIPS AT EACH 1200 CENTRES.  
DOUBLE UP INSULATION DUE EXPOSURE OF COLD BRIDGING  
PLASTER BOARD WALL ADHESIVE (DOT AND DAB)  
12.5mm THICK PLASTER BOARD AND SKIM FINISH.  
SPACE TRAY TO ALLOW 50mm AIR FLOW VENTILATION OVER INSULATION TO LOFT VOID.  
6mm FLEXI PLY OR PVC UNDERLAY SUPPORT FOR MEMBRANE TO ACHIEVE DRIP UP TO GUTTERING SYSTEM.  
100% PVC GUTTER CONNECTED TO 63# DOWN PIPE  
TIMBER OR PVC FASCIA BOARD SECURED TO RAFTER  
PVC SOFFIT SECURED TO RAFTER AND FIXED BATTEN WITH CONTINUOUS 25mm VENTILATION

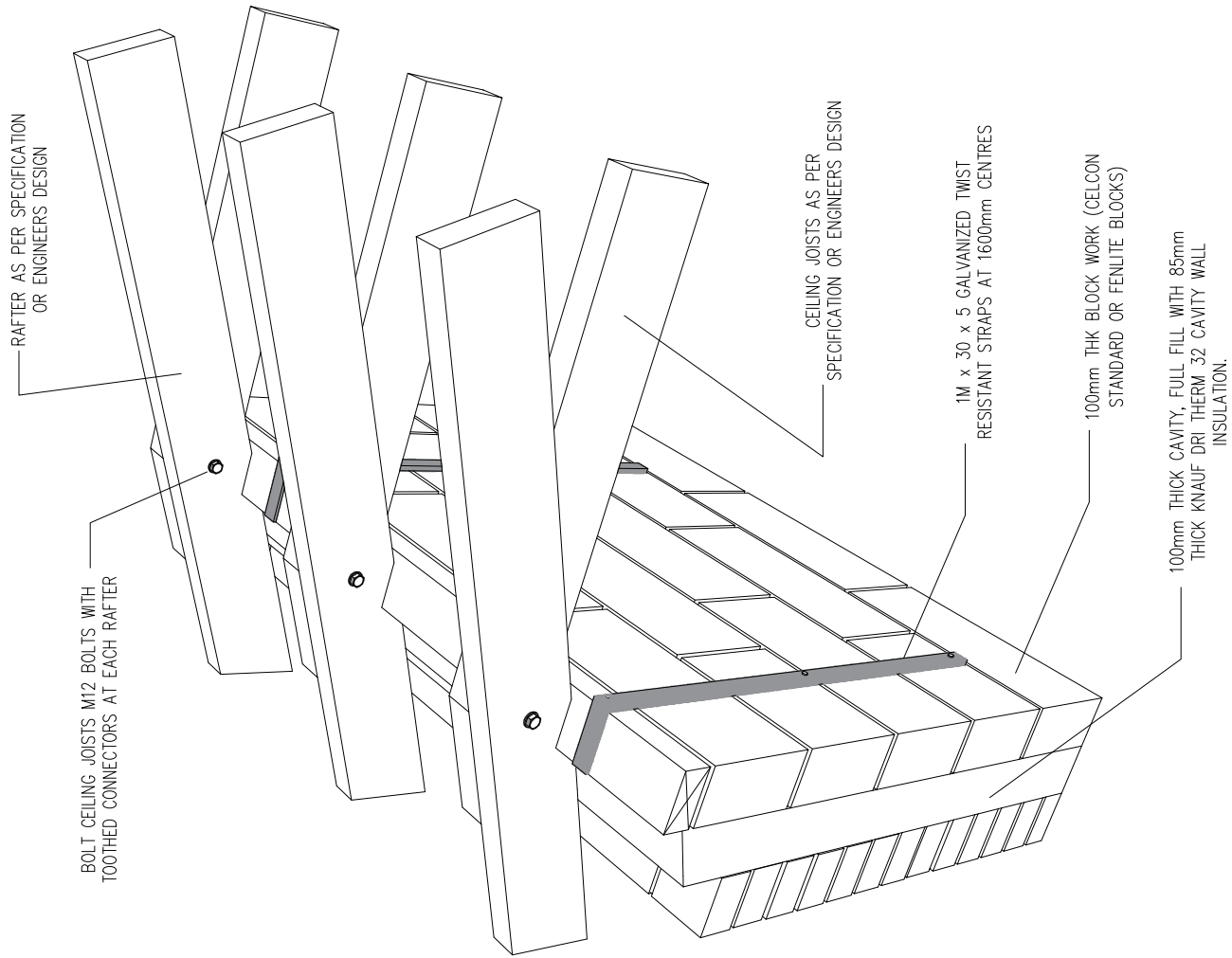
100 100 100 300 330

HAC DESIGNS

Timber wall plate bolted to

PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

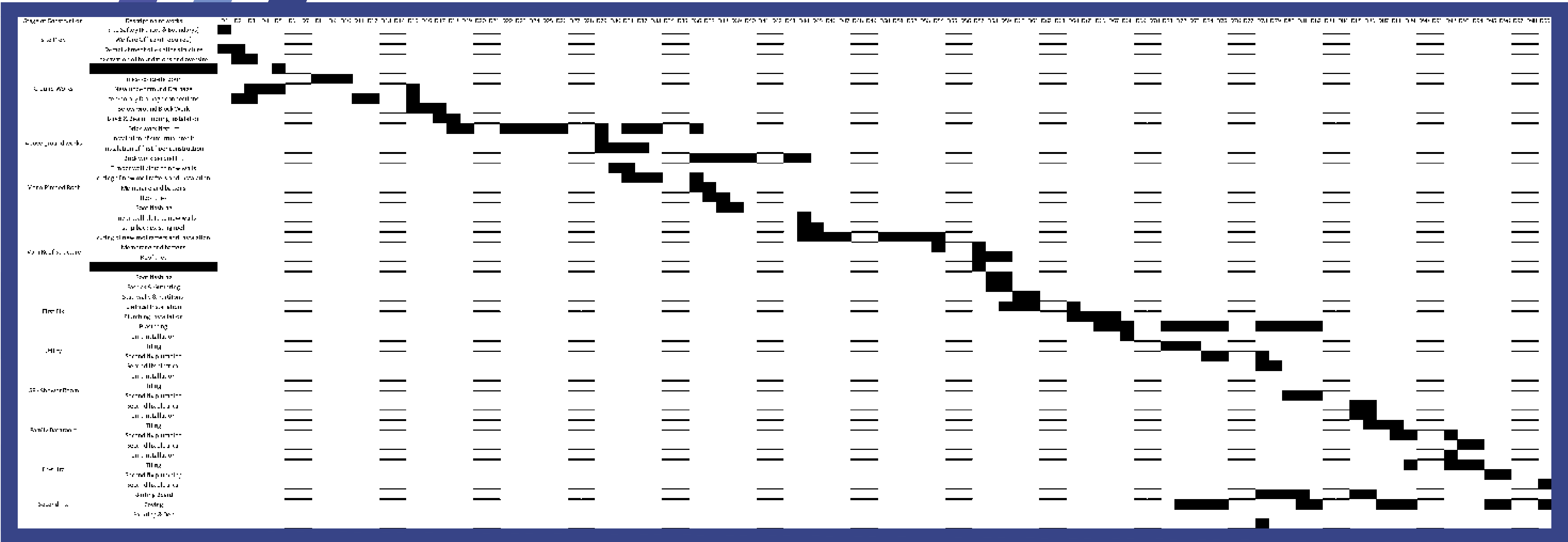
1. CONTRACTOR MUST CHECK DIMENSIONS ON-SITE PRIOR TO COMMENCEMENT OF WORKS.  
2. ANY DISCREPANCIES OR UNCERTAINTIES MUST BE NOTIFIED TO THE PRINCIPAL DESIGNER.  
3. BOUNDARIES HAVE BEEN ASSUMED ON SITE, CLARIFICATION AND CONFIRMATION OF BOUNDARY MUST BE TAKEN UP WITH A LEGAL PARTY.  
4. ALL DRAWINGS ARE TO BE PLANNED-CHECKED BY THE LOCAL AUTHORITY, OR AN ALLOCATED INDEPENDENT BUILDING CONTROL SURVEYOR AND APPROVED.  
5. ANY UNEXPECTED USE OR REPRODUCTION OF H&C DESIGNS LTD DRAWINGS ARE SUBJECT TO INTELLECTUAL PROPERTY AND COPYRIGHT LAWS AND MUST BE APPROVED BY WRITTEN CONSENT.  
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CERTIFIED STRUCTURAL ENGINEER, THAT HAS PROVIDED SUPPORTIVE CALCULATIONS TO BE APPROVED BY THE LOCAL AUTHORITY BEFORE INSTALLATION.  
7. NON-SPECIFIED MATERIALS MUST BE CONSULTED AND APPROVED BY ALL RELEVANT PARTIES PRIOR TO INSTALLATION.





PROPOSED DEVELOPMENT;  
BROCAS ROAD  
BURGHFIELD COMMON

# CONSTRUCTION TIMELINE



NOTE TO CONTRACTOR AND CLIENT: THE ABOVE TIMELINE IS TO BE CONFIRMED BETWEEN DESIGNER, CONTRACTOR AND CLIENT BEFORE ISSUING AND AGREEING THAT THE DURATION OF THE DEVELOPMENT IS BOTH ACHIEVABLE AND ACCEPTABLE. THE ESTIMATED TIME OF CONSTRUCTION IS SUBJECT TO ALTERATIONS, MODIFICATION AND DELAYS FOR UNFORESEEN REASONS SUCH AS; BUILDING CONTROL INSPECTION DATES / VISITS, DELIVERY OF MATERIALS AND GOODS, WEATHER CHANGES THUS CAUSING DELAYS AND CONTRACTUAL AGREEMENT BETWEEN CONTRACTOR AND CLIENT. THIS CALCULATION IS BASED ON A TEAM OF SPECIALIST TRADES, SHOULD THE ALLOCATED CONTRACTORS APPOINTED TO CARRY OUT THE WORKS HAVE FEWER STAFF, IT IS ENCOURAGE THE CLIENT TO BE CONSULTED AND INFORMED ON A DATE THAT WORKS WITH ALL PARTIES INVOLVED. THIS INFORMATION PROVIDED AIMS TO ADVISE THE CLIENT WITH THE EXPECTATIONS OF HIS / HER PROJECT, HAC DESIGNS LTD ARE NOT LIABLE SHOULD THIS TIME LINE NOT BE KEPT TO OR ACHIEVED. YOU MUST CONSULT THIS WITH YOUR CONTRACTOR OR LEGAL REPRESENTATIVE IF FAILURE TO MEET THE AGREEMENT.

NO SCALE @ A2  
APRIL 2020  
HAYDEN COOPER



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# SCHEDULES AND QUANTITY OF MATERIALS LISTS

1:50 @ A2  
APRIL 2020  
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RADIATOR SCHEDULE			
ROOM	WIDTH	HEIGHT	STYLE
GF - SITTING	1600	600	DELUXE / DOUBLE
GF - DINNING	1600	600	DELUXE / DOUBLE
GF - UTILITY	1200	600	DELUXE / DOUBLE
GF - HALL WALL	1200	600	DELUXE / DOUBLE
GF - SHOWER ROOM	550	1200	DECORATIVE
FF - LANDING	1200	600	DELUXE / DOUBLE
FF - BEDROOM 4	1200	600	DELUXE / DOUBLE
FF - BEDROOM 5	1200	600	DELUXE / DOUBLE
FF - SHOWER ROOM	600	1200	DECORATIVE
FF - EN-SUITE	550	1200	DECORATIVE

WINDOW AND DOOR SCHEDULE					
DOOR/S	WIDTH	HEIGHT	GLAZING	MATERIAL	STYLE
GD1	2190	2100	DOUBLE	PVC	DOOR+WIN
GD2	1800	2100	DOUBLE	PVC	PATIO
GD3	4860	2100	DOUBLE	TBC	BIFOLD
GW1	1200	1050	DOUBLE	PVC	CASEMENT
GW2	1200	1050	FROSTED	PVC	CASEMENT
FW1	1200	1050	DOUBLE	PVC	CASEMENT
FW2	600	1050	FROSTED	PVC	CASEMENT
FW3	1800	1200	DOUBLE	PVC	CASEMENT
V1	560	980	DOUBLE	PVC	VELUX
V2	560	980	DOUBLE	PVC	VELUX
V3	560	980	DOUBLE	PVC	VELUX

Room Schedule (SQM)					
ROOM	STATUS	FLOOR	WALLS	CEILING	TOTAL
HALLWAY	PROPOSED	7.9	25.1	6.4	39.4
LIVING ROOM	EXISTING	18.4	34.4	18.4	71.2
KITCHEN	EXISTING	15.4	38.5	15.4	69.3
UTILITY	PROPOSED	9.7	23.9	9.7	43.3
SHOWER ROOM	PROPOSED	2.9	15.6	2.9	21.2
DINING ROOM	PROPOSED	17.3	31.2	17.3	65.8
SITTING ROOM	PROPOSED	18.1	25.5	16.5	60.2
LANDING	PROPOSED	9.6	30.8	9.6	50.1
BEDROOM 1	EXISTING	11.4	27.4	11.4	50.1
BEDROOM 2	EXISTING	6.1	20.2	6.1	32.8
BEDROOM 3	PROPOSED	8.3	22.6	8.3	39.1
BEDROOM 4	PROPOSED	9.8	27.5	9.8	47.1
BEDROOM 5	PROPOSED	12.1	27.0	12.1	51.2
BATHROOM	PROPOSED	4.5	11.5	4.5	20.5
EN-SUITE	PROPOSED	3.6	10.5	3.6	17.4
	TOTALS	155.1	371.6	152.0	678.6

NOTE TO CONTRACTOR AND CLIENT: THE QUANTITY LIST PROVIDED REFLECTS ON THE MATERIALS USED TO THE DESIGN AND DEVELOPMENT AS THIS DOCUMENT ILLUSTRATES. FURTHER MEASUREMENTS ON SITE MUST BE ACHIEVED PRIOR TO ORDER AND PURCHASE OF EACH MATERIAL/S. THE QUANTITY LIST HAS ALLOWED FOR 3-5% ADDITIONAL SUM TO ALL MATERIAL OTHER THAN FIXED UNITS SUCH AS WINDOWS, DOORS, BATHROOM UNITS ECT TO COMPENSATE FOR WASTE MANAGEMENT AND LOSS OF GOODS. THIS INFORMATION IS NOT INTENDED TO PROVIDE COSTING BUT QUANTITY OF MATERIAL USED ONLY. IT IS FOR ALL PARTIES (CONTRACTOR/CLIENT/DESIGNER) TO EXTRACTOR THE INFORMATION TO BE ABLE TO COST THE WORKS. AREAS SUCH AS BATHROOMS, KITCHEN, OTHER WET ROOMS AND STRUCTURAL STEEL REQUIRE ADDITIONAL INFORMATION IN ORDER TO BE DESIGNED FROM ANOTHER PARTY / DESIGN TO INCLUDE.

[illegible]

THANK YOU FOR THE OPPORTUNITY  
TO WORK WITH YOU.

HAYDEN A. COOPER  
MANAGING DIRECTOR / FOUNDER

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## HAC GROUP

Transforming old spaces into beautiful new places



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